

# **LAKE LURE TOWN COUNCIL MEETING PACKET**

Tuesday, March 10, 2026

5:00 p.m.



**Mayor Carol C. Pritchett  
Mayor Pro Tem David DiOrio  
Commissioner Patrick Bryant  
Commissioner Scott Doster  
Commissioner Jim Proctor**

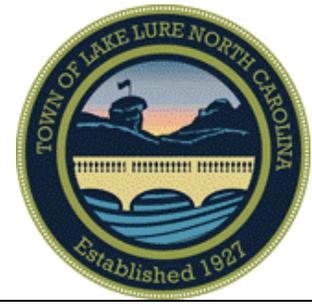
# II

## Agenda Adoption

**TOWN OF LAKE LURE  
TOWN COUNCIL REGULAR MEETING**

Tuesday, March 10, 2026 at 5:00 p.m.

Town Hall at The Landings



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**Agenda**

**I. Call to Order**

**A. Pledge of Allegiance and Invocation**

**II. Agenda Adoption**

**III. Mayors Communications**

**IV. Town Manager's Communications**

**A. Monthly Report/Storm Recovery Update (Page 5)**

**V. Council Liaison Reports and Comments**

**VI. Consent Agenda**

**A. Approval of February Minutes (Page 20)**

**B. Approval of Town Manager Employment Agreement Renewal (Page 40)**

**VII. Unfinished Business**

**A. Consider Approval of Easement with Duke Energy for Parcel #219448 (Page 50)**

**VIII. New Business**

**A. Consider Approval of Easement with Duke Energy for Parcels #1657963 and #1616909 (Page 57)**

**B. Consider Adoption of Resolution No. 26-03-10 Approving Updated Organization Chart and Position Description (Page 63)**

**C. Consider Adoption of Resolution No. 26-03-10A Amending the Town of Lake Lure Personnel Policy (Page 68)**

**D. Consider Sewer Request from Lake Lure Senior Living Facility (Page 73)**

**E. Consider Adoption of Resolution No. 26-03-10B Accepting Emergency Management Disaster Relief and Mitigation Fund Grant for Dam Failure Impact Assessment (Page 87)**

**F. Consider Amendment to Set Meeting Location for the Lake Advisory Board and Parks and Recreation Board to 920 Buffalo Creek Road (The Landings) (Page 90)**

**IX. Public Comment**

**X. Adjournment**

**III**  
**MAYOR'S**  
**COMMUNICATIONS**

# **IV**

# **TOWN MANAGER'S**

# **COMMUNICATIONS**

**A. Monthly Report/Storm Recovery  
Updates**

**LAKE LURE TOWN COUNCIL  
AGENDA ITEM REQUEST FORM  
Meeting Date: March 10, 2026**

**SUBJECT:** Town Manager Monthly Report/Storm Recovery Updates

**AGENDA INFORMATION:**

**Item Number:** IV  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

Town Manager Olivia Stewman will provide Council with a monthly report and storm recovery updates and any other updates that are not included on the meeting agenda. Council will also have the opportunity to ask any questions.

**ATTACHMENT(S):**

Town Manager monthly report/Storm Recovery to be provided at the time of the meeting.



## Town Manager Report February 2026

Below are key highlights from each department for the month of February. Full reports are available upon request.

### Public Services Department Report

The Public Services Department continued routine maintenance and operations throughout the month. Regular tasks included meter reading and installations, water leak repairs, utility locates, bulk trash pickup, work order responses, facility upkeep, wastewater sampling, and maintenance at the Dam, and Wastewater Treatment Plant. Additionally, staff played a vital role in supporting various storm recovery efforts.

### Top Accomplishments & Project Updates

- **Water and Sewer Operations**  
Staff continued installation of SCADA systems for the Town's utility systems. The concrete pad for the new dewatering belt press at the wastewater treatment plant was completed, and preparations for belt press installation and commissioning progressed.
- **Dam**  
The spillway gate seal project was completed, and the tainter gates were closed to allow water levels to rise as operationally required.
- **Morse Park and Lake Infrastructure**  
Staff continued elevation design work for Morse Park. The shoreline stabilization project at Morse Park was initiated, and restoration work on walking paths, gazebo power, sirens, and boat dock power progressed. Demolition of the Welcome Center was completed. For the boat marina, the fuel pump replacement project moved into the scheduling phase, and work continued on stationary docks, floating docks, and boat ramps.
- **Road, Drainage, and Grounds Maintenance**  
Right-of-way mowing was completed, and staff conducted snow removal during and after winter storm events to maintain safe roadway conditions.

## Community Development Department Report

Director Williams reports that the department continues providing permitting support and guidance as residents move forward with repairs and rebuilding projects. Staff also continued assisting property owners affected by Tropical Storm Helene. The following permits were issued in February:

- **7 Zoning Permits**
- **9 Lake Structure Permits**
- **4 Land Disturbance Permits**
- **4 Vacation Rental Operator Permit**
- **5 Certificates of Completion**

### Top Accomplishments & Project Updates

- **Zoning and Planning Board and BOA/LSAB**  
The Zoning and Planning Board held a detailed discussion regarding a potential discrepancy between originally intended accessory structure size limits and the ordinance language approved by Council. Remaining questions prompted the Board to table review until the March meeting for further clarification. The BOA/LSAB did not meet.
- **Helene Recovery Assistance**  
Staff continued working with owners of substantially damaged or unsafe lake structures to ensure removal or compliance prior to the lake reopening. From November through March 3, 14 boathouses have been demolished and removed, 2 more are scheduled for removal, and 3 remain in active negotiations. Staff are maintaining a comprehensive list of known Helene debris sites and coordinating cleanup efforts with property owners, the NC SMART Program contractor, and Public Works.
- **Cell Tower**  
Work with Tillman Construction continues to advance completion of the Town's communication tower. AT&T is currently mounting antennas and is projected to have them calibrated and in service within the next two weeks. T-Mobile will mount antennas following AT&T's completion. Verizon has not yet committed to locating on the tower, and staff continue encouraging Verizon customers to contact their carrier regarding service limitations.
- **Floodplain and FEMA Coordination**  
Coordination with NC Emergency Management and FEMA continues regarding revisions to the Town's flood maps. Preliminary data indicate the average base flood elevation has been reduced by nearly eight feet, removing Town Hall from the Special Flood Hazard Area. Staff are working with the Rutherford County Floodplain Administrator to schedule the FEMA-required public meeting and are researching whether to establish a regulatory flood elevation above the revised base flood level.

- **Database and Program Updates**

Staff are rebuilding the Erosion and Sedimentation Control database following data loss after Tropical Storm Helene, complicated by changes and glitches in the State's online system.

## **Fire / Emergency Management Department Report**

The Fire / Emergency Management Department responded to 28 fire, medical, and rescue calls in February. Firefighters completed 524 hours of training, reflecting a continued commitment to professional development, preparedness, and operational readiness.

### **Top Accomplishments & Project Highlights**

- **Fire and Emergency Response**

During February, the Fire Department responded to a wide variety of emergency calls. Notable responses included a structure fire on Buffalo Creek Road, a sinking boat on Lakeview Road, multiple medical emergencies including chest pain and breathing issues, and numerous downed trees and powerline incidents caused by winter storms on Rock Point Road, Washburn Road, Lakewood Drive, and Memorial Highway.

- **Personnel and Training**

Department personnel completed 524 hours of training during the month, reflecting continued commitment to professional development and operational readiness. Training included in-service exercises for AEMT personnel, medical training for new staff, hose deployment and LDH supply line operations, fire extinguisher inspections, SCBA air-pac service, forcible entry and chainsaw safety training, truck checks, equipment reorganization, and live burning exercises with Rutherfordton Fire Department. Staff also participated in training with Chimney Rock VFD and conducted 12-lead training for new personnel.

- **Apparatus, Equipment, and Facility Maintenance**

Extensive maintenance and readiness activities were completed to ensure operational capacity. Engine 2512 received a new steering gearbox, routine maintenance was performed on vehicles, chainsaws were remounted, and equipment on engines and rescue trucks was reorganized. The fireboat underwent weekly inspections, sprinklers at Fire-fly Cove were serviced, and additional extrication and wildland firefighting equipment was ordered.

- **Winter Storm Response and Interdepartmental Support**

The department played a key role in winter storm response, assisting Public Works with snow and ice operations, clearing downed trees, and supporting stranded motorists. Coordination with Rutherford County and neighboring volunteer fire departments ensured effective emergency coverage, including

the temporary use of county-owned equipment to bolster response capabilities.

## **Police Department Report**

February was a relatively slower month for the Police Department, with routine patrols, traffic monitoring, and public safety calls forming the bulk of activity. Weekend traffic showed a slight increase, while officers continued to address a consistent number of online scams reported by residents. The department successfully completed a bi-yearly audit by the North Carolina State Bureau with no findings. Training remained a focus, with officers completing state-mandated courses and preparing for upcoming certifications. Officer Burrell also began training with the Town's new K9, Koda, who is being prepared for search and rescue as well as narcotics detection.

### **Top Accomplishments & Project Updates**

- **Personnel and Staffing**

The department currently has vacant full-time officer positions. Reserve officers continue to provide essential patrol coverage, and recruitment efforts remain active with advertisements posted on multiple online platforms. Officers are keeping up with required state-mandated training, including CJIS compliance and testing, to maintain certifications and operational readiness.

- **Calls for Service and Public Safety**

Officers responded to routine traffic incidents, medical calls, and public assistance requests throughout the month. Reports of scams, particularly online fraud, continue to occur each month. Officers remain available to assist residents with suspected scams or fraud, providing guidance and support to mitigate potential losses.

- **K9 Program**

Officer Burrell began full-time training with Koda, the Town's new K9. Training is taking place out of town and is expected to conclude in approximately three weeks. Koda is being trained for both search and rescue operations and narcotics detection. Officer Burrell's patrol vehicle has been retrofitted with a K9 cage for safe transport. The department thanks the Town for approving the program, Mr. Rocky Guarriell for funding the K9, and Stand Tall for providing the K9 cage.

- **Audit and Compliance**

The department successfully completed a bi-yearly audit by the North Carolina State Bureau, which reviewed confidentiality practices, reporting standards, and other operational compliance measures. No findings or marks were issued, reflecting the department's continued adherence to state standards and best practices.

- **Community Programs**

The Home Watch Program continues to be actively utilized by residents and local businesses while traveling. Officers remain available to provide guidance and support to participants and to assist residents who may be targeted by scams or fraud.

## **Parks, Recreation & Lake Department Report**

The Parks, Recreation, and Lake (PR&L) Department had a productive month in February, focusing on volunteer support, trail recovery, marina operations, lake maintenance, and administrative updates. Staff worked closely with contractors and community partners to address storm damage, maintain facilities, and prepare for upcoming projects. Volunteer contributions remained critical in supporting trail maintenance and water quality monitoring.

### **Top Accomplishments & Project Updates**

- **Volunteer Support**

Volunteers contributed a total of 157 hours, valued at \$5,257.93 (\$33.49/hour), assisting with trail repairs, water sampling, clearing downed trees, and trail improvements across Buffalo Creek Park, Dittmer-Watts Nature Trails, and Turtle Rock (Lakeside Trail). Specific workdays were held on February 4, 6, 11, 13, 18, 20, and 27, involving 18 volunteers completing trail clearing, drainage improvements, and tread enhancements. Weekly water sampling also utilized volunteer assistance, with five volunteers supporting staff efforts.

- **Marina Operations**

The marina replacement project continued to move forward on schedule. Staff coordinated weekly with the contractor to monitor installation progress and address operational needs. Work also included reviewing commercial model applications, contacting past applicants, and updating slip rental policies.

- **Trail System Recovery and Maintenance**

Trail recovery and maintenance progressed significantly during February. Major repairs were supervised at Buffalo Creek Park and Weed Patch Mountain, and temporary trail signage was installed to allow partial reopening of Buffalo Creek Park trails. Staff collaborated with Conserving Carolina, the Carolina Climbers Coalition, and the Rutherford Outdoor Coalition to assess storm damage, plan small-scale repairs, and reroute trails as necessary. Additional scouting for tree clearing and trail improvements was conducted by the Trail Boss.

- **Training, Planning, and Lake Operations**

Staff completed two hours of law enforcement training, assisted with police calls, issued citations, and attended court appearances, while conducting regular lake patrols. Project planning included obtaining quotes for repairs and replacements of damaged assets, debris boom engineering and installation, Christmas tree and fish habitat installation, and buoy placement

and map updates. Staff also advanced updates to the 2026 Boater's Guide, Boater's License process, PR&L portion of the Town website, and slip rental policies. Daily operations included selling boat permits, processing work orders, preparing deposits, recording board meeting minutes, and welcoming office visitors.

## Finance Department Report

Overall, the Finance Department has maintained strong oversight of revenues and expenditures, completed audit preparations, and continues to actively pursue funding opportunities to support the Town's ongoing operations and financial stability.

### Top Accomplishments & Project Updates

- **Financial Status**  
The Town's current financial position includes an unreconciled bank balance of approximately \$7,560,000 for all funds, excluding special revenue funds. The Dam Fund maintains a balance of \$8,000,000. As noted in prior reports, State revenue replacement loan proceeds, FEMA reimbursements, and ARPA funds continue to significantly enhance the Town's cash position.
- **Budget and Revenue Tracking**  
Revenue and expenditure accounts are generally tracking with budget projections for all departments except non-governmental accounts, where insurance costs are estimated to exceed projections. Water and sewer collections are continuing to perform above budgeted levels.
- **Audit**  
The Finance Department is concluding the final steps for the FY 2024 audit. Staff have also begun preparing for the FY 2025 audit process, initiating the first steps in the review to ensure a smooth and timely audit cycle.

## Communications Department Report

Throughout February, Communications Director Laura Krejci successfully managed public engagement, social media, grant coordination, and event planning, ensuring transparency, active community involvement, and effective dissemination of critical Town information.

### Top Highlights & Project Updates

- **Website & Digital Communications**  
Website activity continued to increase, with 20,479 active users in February, up from 17,000 in January 2026 and 11,000 in February 2025. The site recorded 38,387 page views, with top pages including the homepage, lake

refilling updates, Town News summaries, the Boater's Guide, and park/trail information. Forty-four Town News posts were published during the month, covering lake refilling, Morse Park and marina updates, upcoming events, and community programs. On March 1, a summary of these posts was emailed to 3,056 subscribers, along with a link to the Town Calendar of Events, keeping the public informed about Town activities and safety advisories.

- **Social Media Growth and Management**

The Town's social media presence continues its upward trajectory, exceeding 40,957 followers, reflecting a 13% increase from February 2025. Staff shared 65 posts during February, reaching over 400,000 people. Engagement and public interaction increased substantially, with higher comment volumes requiring proactive monitoring and timely responses. Most feedback remained highly positive, demonstrating strong community interest and trust in Town communications.

- **Marketing and Media Relations**

During February, the department strengthened the Town's regional visibility through coordinated media outreach promoting key initiatives, events, and the lake reopening campaign. Staff facilitated interviews with Blue Ridge Radio, Hendersonville Times-News, Spectrum News, WHKY Radio, WYFF-TV (Channel 4), Fox Carolina, WSPA-TV (Channel 7), and WLOS (Channel 13), ensuring consistent messaging and expanding awareness across Western North Carolina and Upstate South Carolina. The department also worked with the Mayor and key staff to coordinate interviews and media messaging. In support of the lake reopening, promotional banners were designed with the theme "Together We Rise," and filming for commercial campaigns was scheduled in coordination with the Rutherford County TDA and Dustin's Way Collective.

- **Events and Community Engagement**

Planning and coordination continued for major events including Carolina Climbers Coalition Rumble 2026, collegiate rowing activities, Arbor Day, Parrotheads & Pirates Music Festival, Lake Lure Arts and Crafts Festival, Memorial Day Program, Flag Day ceremonies, 250th Anniversary fireworks, Hickory Nut Gorge Olympiad events, the 100th Anniversary of the Lake Lure Dam, Veterans Day Program, and Lighting Up Lake Lure in December. February included multiple library programs, ROC Trail Tamers workdays, Town Council meetings, and public input sessions. Staff coordinated with local businesses and the TDA to support tourism and economic development through these events.

- **Media and Public Information**

The department coordinated closely with local and regional media to promote Town initiatives, programs, and events. Everbridge notifications had 1,817 registrants, and one winter weather/ice storm alert was issued during February. Nineteen online inquiries were received and addressed within 24–48 hours. No online facility reservations were requested.

- **Grants and Project Coordination**

- **FY22 30% Design Grant – Lake Lure Replacement Dam**

- The FY22 grant supports the 30 percent preliminary design phase for the Lake Lure replacement dam. The total project cost is \$745,341, with grant funding of \$484,471 covering 65 percent of the cost. Work Order #10 with Schnabel Engineering (\$910,900) was executed, and project coordination with the NC Dam Safety Office is ongoing. Staff held meetings with the Division of Energy, Mineral, and Land Resources to review accounting and reporting processes, and a budget amendment was approved by Town Council to support the project. The 30 percent design phase began in January 2026 and is expected to take 6–8 months to complete.

- **FY24 Detailed Design Grant**

- The FY24 grant supports the detailed design phase of the replacement dam. The total project cost is \$3,500,000, with the Town responsible for a 35 percent match (\$1,225,000) and FEMA grant funding of \$2,275,000 covering the remaining 65 percent. The Town submitted its application package on February 22, 2026. Under the FEMA High Hazard Potential Dam Grant process, the Town will pay project costs upfront and submit invoices for reimbursement through the NC Dam Safety Office. Reimbursement will occur over three years: Year 1: \$2,050,000; Year 2: \$1,050,000; Year 3: \$400,000. Staff are coordinating with Schnabel Engineering and awaiting contract execution and budget amendment approval.

- **Dogwood Trust Collaboration & Innovation Grant**

- The Dogwood Trust Collaboration & Innovation Grant process also advanced, with coordination among Dogwood representatives, Gateway Wellness Foundation, the Town Manager, and the Mayor to review potential workforce housing initiatives. The next grant cycle opens April 20–May 18, 2026, with awards ranging from \$50,000 to \$500,000 over 12–24 months to support collaborative community initiatives.

## **Manager / Administration Department Report**

February was a dynamic and productive month, marked by a high volume of staff, council, and board meetings, as well as ongoing efforts to navigate the evolving landscape of post-storm recovery and day-to-day operations.

### **Top Highlights & Project Updates**

- **FEMA Coordination and Recovery Funding**

- Town staff continued weekly coordination with FEMA leadership to advance ongoing storm recovery projects and advocate for Lake Lure's funding priorities. Efforts remain focused on accelerating support for key infrastructure projects and ensuring timely reimbursement. Staff worked closely with ICF to advance funding through FEMA Public Assistance and the

Hazard Mitigation Grant Program (HMGP). HMGP applications have been submitted, and the Community Development Block Grant for Disaster Recovery (CDBG-DR) pre-application cycle has opened. The Economic Development Administration (EDA) grant for the sewer replacement project is nearing completion, and additional assistance for EDA Return on Investment (ROI) and Impact Analyses has been ongoing through the Governor's Recovery Office for Western North Carolina (GROW NC) in partnership with NC Growth. This month, the Town received official confirmation of the grant for a dam failure impact study through the American Flood Coalition. In addition, staff were notified that the Town will be receiving a Letter of Intent (LOI) for the regular State Revolving Fund (SRF) sewer replacement loan, totaling \$31 million, including \$6 million in principal forgiveness. These developments provide critical resources to advance recovery projects and ensure long-term infrastructure resilience. Staff continue to actively monitor and pursue emerging funding opportunities through state and federal programs to maximize recovery resources for the Town.

- **Project Obligations and Reimbursements**

FEMA reimbursement amounts:

- \$862,186.69 –Vegetative, C&D, and White Goods debris from Lake Lure and waterways
- \$754,185.81 –Town-wide Emergency Protective Measures
- \$65,390.00 –Vegetative debris from ROW and public property
- \$503,580.00 –Design of permanent Boys Camp Road Bridge
- \$118,323.67 –Temporary hydroelectric plant emergency repairs
- \$8,250.00 –Temporary Town Hall Facility
- \$13,255.75 –Dumpster rentals
- \$28,531.78 –Temporary Relocation Costs – Town Hall Facility
- \$9,681.02 –Municipal Water Supply Damage – 100% Complete Work
- \$745,485.13 –Emergency Access Restoration at Dam
- \$8,913.73 –Municipal Water Supply System Damage – Boys Camp Road Bridge Waterline
- \$977,417 –WWTP A&E
- \$118,943 – Temporary Emergency Wastewater Treatment Plant Repair
- \$5,250 – Lakeshore River Sand Washout
- \$101,487.47 – Sediment Pond Culvert
- \$72,852.05 – Temporary Municipal Water Supply Project.
- \$300,000 – A&E – Hydroelectric Generating Plant Damages
- \$64,677.34 – Temporary Town Hall Facility – 90%

The following items are obligated, but pending reimbursement:

- \$1,996,515.95 – Marina Docks Damages (Marina Replacement Project)
- \$1,482,977.10 – Lake Safety Facilities
- \$584,385.62 – Town Wide Roads and Culverts Damages 1 – Completed

## Work

- Proctor Road and the Flowering Bridge. Final amounts pending agreed upon fixed cost offer.

- **Tainter Gate Repairs**

The Tainter (Spillway) Gate Seal Repairs Project was completed.

- **Fuel Pump, LLT Docks and Morse Park Stormwater Plan**

Odom Engineering has finalized the designs for the Lake Lure Tours fuel pump and docks, as well as the Morse Park stormwater plan. Construction has begun on the tour docks and fueling infrastructure. With the Morse Park stormwater plan now approved, grading and related site work will commence to implement the improvements, supporting the Town's broader infrastructure and recreational goals. The Town is currently awaiting a determination from the SMART Program regarding whether the project will be addressed under that program or through FEMA Public Assistance.

- **Comprehensive Plan**

All public input sessions for the Town's planning process, including the Town staff focus group, have now been completed. The Comprehensive Plan Steering Committee will review the input findings in March. Foothills Regional has begun compiling the feedback and is developing a draft planning document. Input on parks and recreation was mixed, particularly regarding Morse Park and the Green Space. To address this, the draft plan will present multiple options for each area, including estimated costs and feasibility, to help the Town make informed decisions that reflect the community's diverse perspectives.

- **Dredging**

Dredging operations are nearly complete, with all sediment for this cycle removed. The remaining step is hauling off the material, which is currently being temporarily stored off of Boys Camp Road.

- **Staff Training**

Department heads and supervisors were required to attend a continuing education course on North Carolina and Town purchasing and procurement policies. While staff generally follows these procedures well, regular refresher trainings help reinforce best practices and provide a framework for accountability when issues arise.

- **Shooting Range Remediation**

The Town has been working with Foothills Regional Commission (FRC) on a brownfields grant application to remediate the shooting range near LLCA. This application was submitted last week. FRC submitted the request as part of a group application that includes multiple remediation sites across the County, noting that applications demonstrating broader regional impact are more competitive for funding.

- **Lake Debris Cleanup**

The State SMART Program was originally scheduled to begin operations the first week of March but experienced a delay just prior to that start. It is now expected to address shoreline debris during the second week of March. In the interim, Town staff has been actively managing floating debris and debris near the waterline.

- **Replacement Dam**

The Town approved Schnabel's recommendation to shift the north (left) abutment downstream while keeping the south (right) abutment in its conceptual location. This adjustment is expected to reduce construction risks, potentially lower excavation and roller-compacted concrete (RCC) quantities, and improve hydraulic efficiency. Additional factors being considered include property impacts, site access, and minor subsurface uncertainties. Guidance on maximum upstream water surface elevations will continue to inform the final dam and spillway design. Schnabel is progressing on the 30% design, which is expected to be completed in June, after which work on the detailed design will begin.

- **Welcome Center Demolition**

The Welcome Center demolition was completed.

- **Boys Camp Bridge Replacement**

The Boys Camp Bridge project has experienced a further delay due to a property owner not yet signing a temporary construction easement. The bid is now scheduled to be advertised on March 10th, with bid packages due by March 24th.

**V**  
**COUNCIL LIAISON**  
**REPORTS AND**  
**COMMENTS**

# VI

# CONSENT AGENDA

- A. Approval of February 2026 Minutes
- B. Approval of Town Manager  
Employment Agreement Renewal

## **A. Approval of February 2026 Minutes**

**MINUTES OF THE TOWN OF LAKE LURE  
REGULAR TOWN COUNCIL MEETING**

Tuesday, February 10, 2026 @ 5:00 pm  
Town Hall at The Landings



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**Agenda**

**Roll Call:**

Mayor, Carol C, Pritchett  
Commissioner Patrick Bryant  
Commissioner Scott Doster  
Commissioner Jim Proctor  
Commissioner David DiOrio

Town Manager, Olivia Stewman  
William Morgan, Attorney  
Kimberly Martin, Town Clerk

**I. Call to Order**

Mayor Pritchett called the meeting to order at 5:01 pm.

**II. Agenda Adoption**

Commissioner Scott Doster made a motion to adopt the agenda with the change of adding a Pledge of Allegiance and invocation and to remove item number 5 council reports. Commissioner Patrick Bryant seconded the motion and all were in favor.

**III. Mayor's Communication**

Mayor Carol C. Pritchett presented Proclamation No. 26-02-10 recognizing the exception service of Public Works and Emergency Personnel During Recent Weather Events and a thank you for all the support staff as well.

**IV. Town Managers Communication**

**A. Monthly Report/ Storm Recovery**

The Public Works Department begin installation and expansion of the SCADA system for the Towns Water system. Many water systems improvements have also taken place. With Water blow-off replaced at the end of Mark Twain and the Woody Well repair. The Dam spillway gate repair project continues and remains on schedule. We continue to work on Morse Park and elevation designs and restoring walking paths. Staff continue to work on

marina and lake infrastructure including work on the fuel pumps, stationery and floating docks, boat ramp repairs and demolition of the beach marina.

All departments continue to work diligently with community development, working on a total of 31 new permits does not include previously issued permits. Cell tower also continues with a few delays but still planned to be completed soon. Verizon still has not provided permitting to be added. Staff is continuing work with FEMA and the floodplain. There will be a public hearing to present the new map once complete.

The fire department has responded to a high volume and wide variety of emergency calls, including medical emergencies, motor vehicle collisions, fire alarms, public assistance calls, and storm-related incidents. We have also completed multiple training activities to enhance operations. Maintenance was performed on the department's UTV, ladder racks, and other operational equipment. The Fire department played a key role in winter storm response and recovery efforts. Crews assisted Public Works with snow and ice removal operations including plowing, chaining town Vehicles, and clearing downed trees from roadways.

The police department Had a few personnel and staffing changes including Sergeant Carl Umphlett retirement. K9 program will begin this month focusing on search techniques and narcotics detection. The Community Watch Program continues to be widely used by the residents of the Town of Lake Lure.

Parks and recreation continue to utilize volunteers with hours totaling to 78 Hours during the month representing an estimated value of \$2,612.22. Marina replacement projects continue to move forward. Trail recovery and maintenance has made significant progress with major repairs at Buffalo Creek Park and Weed Patch Mountain. Six hours of law enforcement training were completed, and the department assisted with FEMA site inspections, police calls, citations, and court appearances.

Finance continues to manage and maintain the town's budget and revenue tracking.

Current financial position includes an unreconciled bank balance of approximately \$7,830,000 for all funds, excluding special revenue funds. Revenue and expenditures accounts are generally tracked with budget and projections. The finance department is concluding its final steps in the FY 2024 audit and will begin preparing for the FY 2025 audit process. The finance director will remain out of the office for an extended period. During this time Administrative and finance staff have stepped up significantly to ensure that operations continue to run smoothly.

Laura Krejci continues to keep the public updated through various means including the Town website and social media with many updates on projects and revenue that has been received.

The administrative staff has made tremendous progress with continue meetings and day-to-day operations. Town Manager Olivia Stewman has kept in contact with FEMA while continuing meetings. Working to advance ongoing storm recovery. Several projects have been obligated and reimbursed. We continue to have a few projects that have been obligated but pending reimbursement.

Tainter Gate repairs have been delayed due to the need for additional welding. Aside from the setbacks, the project remains on track. Dredging operations continue with Stott Construction. The smart project has selected contractors to address the remaining debris in Lake Lure, and the scope of work is under review. The demolition of the Welcome center will begin February 6, 2026. Bidding documents for the Boys Camp Bridge replacement are expected to be advertised in early February. Following the bid process, the contract will be awarded and construction will begin with completion in Spring of 2026.

## **V. Consent Agenda**

### **A. Approval of December Minutes**

Commissioner Patrick Bryant made a motion to approve the consent agenda as presented. Commissioner Jim Proctor seconded the motion and all were in favor.

## **VI. Unfinished Business**

There was no unfinished business.

## **VII. New Business**

### **A. Advisory and Statutory Board Annual Presentations**

Board presentations were given beginning with the ABC Board. Richard Sayles advised that the ABC store has worked diligently in controlling inventory, expenses, and staffing. The recent audit showed only 1 bottle over, and the board was able to write a check the town for \$65, 006.89. Several barrel picks were released over the last year with Southern Star selling out. Will begin another round of barrel picks with the first release being a toasted Elijah Craig. Our store manager Patricia Crane and the staff have been amazing. Our board works well together with Rhonda being the glue that holds everything together, keeping up with all the financials. The ABC store will be looking to hire one additional employee.

Scott Martin provided a annual report for our Short-term rental Board consisting of Thomasina Coile, Beth Heer, Pat Buede, and myself, under the guidance of Kimberly Martin in Community Development and Commissioner Patrick Braynt serving as Council Liaison. This board began meeting in June of 20525 and has continued to meet monthly since then. The board immediately set a common set of objectives to help guide the board in these efforts. Initial meetings focused on understanding the current state of private vacation rentals in the Town of lake Lure. The board has recently forwarded several core recommendations for consideration of various Town Boards and Town Councils. These recommendations include requiring that all short-term rentals reapply for permitting in 2026 including the \$300.00 application fee. Moving forward the board is recommending that an annual inspection be completed with a fee of \$250.00. For new applications beginning in 2027 the fee changes to \$500.00 with a \$250.00 fee for updated owner applications. We believe this would help maintain records and provide additional revenue for the town. Applications are being revised along with new sticker design being developed. Looking forward, the board will continue to focus on additional areas associated with Short-term rental activity.

Charlie Ellis Vice Chair for the Zoning and Planning board presented the board's report the year in review. Board members include Randy Nelson, chair, Charlie Ellis, Vice Chair, Mac Hillabush, Ken Williams, and Debra Warren. Several Special use permit applications were reviewed and text amendments including addition of a stand-alone commercial parking lot use in commercial districts and allowable size and location of columns on residential driveways. Began review of the sign ordinance while reviewing rezoning for a property

currently in a commercial district. Moving forward will continue to work on review of the sign ordinance and other issues that may arise.

Kathie Hatfield presented for the Board of Adjustments and Lake structure appeals board advising that we are a reaction board responding to permit requests and appeals. Post Helene rebuild continues with many issues arising from access issues to setback reduction requests. Unable to predict what will come but look forward to what the future holds. Do want to wish Mr. Neil Gurney the best in the future.

The Lake Advisory Board will present a report later.

The Parks and Recreation board serves in an advisory capacity providing input to the Parks, Recreation and Lake Department and received regular reports from the department. Projects that the parks and recreation board have reviewed include post Helene restoration and maintenance of local trails, made suggestions for the design and installation of the playground, encouraged the temporary disc golf course, heard regular reports from the flowering bridge and the Parks and Recreation department. The board would like to continue to explore ways to monetize Town assets and planning for new trails. Hopeful for a community Garden and continue our input on the comprehensive plan and future projects as needed.

(Board reports in full available upon request)

## **B. Advisory and Statutory Board Appointments**

Council members reviewed applications and filled out ballots.

### **A. ABC Board**

Commissioner Scott Doster made a motion to re-appoint Trace Boswell, Bob Cassano, and Richard Sayles. Commissioner Jim Proctor seconded the motion and all were in favor.

### **B. BOA/LSAB**

Commissioner Dave DiOrio made a motion to appoint Andrew Knowles as alternate to the Board of Adjustment and Lake Structure Advisory Board. Commissioner Scott Doster seconded the motion and all were in favor.

### **C. Lake Advisory Board**

Commissioner Dave DiOrio made a motion to re-appoint Gary Hasenfus and Mark Helms and appoint Micheal Gibbs to the Lake Advisory Board. Commissioner Patrick Bryant seconded the motion and all were in favor.

### **D. Short Term Rental Advisory Board**

Commissioner Patrick Bryant made a motion to appoint Steven Gage to the Shor Term Rental Advisory Board. Commissioner Jim Proctor seconded the motion and all were in favor.

### **E. Zoning and Planning Board**

Commissioner Scott Doster made a motion to reappoint Ken Williams and appoint Liz Geary to the Zoning and Planning Board. Commissioner Dave DiOrio seconded the motion, and all were in favor.

**C. Consider Authorization to Proceed with Alternate Replacement Dam Alignment**

Town Manager, Olivia Stewman, presented to the board a alternate replacement dam alignment provided by Schnabel. Looking to shift gears to move down stream. May have some minor issues but looks to be more feasible.

Commissioner Jim Proctor made a motion to approve Authorization to Proceed with Alternate Replacement Dam Alignment. Commissioner Dave DiOrio seconded the motion and all were in favor.

**VIII. Public Comment**

Kimberly Sayles (140 Harris Rd.)

The Chamber has taken on a new event called “Hidden in Plain Sight, Green Salamander Art Trail. The event is a family-friendly public art and discovery trail that will connect Chimney Rock, Lake Lure and Rumbling Bald through art, nature, and local business participation. Local artists will design and the Chamber will place the green salamander sculptures at participating businesses and community spots. Places like the Flowering Bridge, local Restaurants, shops, and other community attractions. Visitors will be able to use a map or QR codes to explore and learn about the salamander, which is native to our region, while discovering each location along the way. Currently we have 28 businesses and 17 artist and look forward to additional business and artists joining in. Our goal is to drive foot traffic, support local businesses and celebrate our natural environment, and give families another reason to visit and fall in love with the area.

(Full statement available upon request)

No other public comments

**IX. Adjournment**

Commissioner Patrick Bryant made a motion to adjourn the meeting, Commissioner Jim Proctor seconded the motion and all were in favor. The meeting ended at 7:04 pm.

**ATTEST:**

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**Kimberly Martin, Town Clerk**

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**Carol C. Pritchett, Mayor**

**TOWN OF LAKE LURE  
REGULAR TOWN COUNCIL STORM RECOVERY  
STATUS**

Monday, February 16, 2026 at 10:00 a.m.  
Town Hall at the Landings



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**Agenda**

Roll Call:

Commissioner Jim Proctor  
Commissioner Dave DiOrio  
Commissioner Patrick Bryant  
Mayor, Carol C, Pritchett  
Olivia Stewman, Town Manager

Laura Krejci, Communications Director  
Sean Humphries, Police Chief  
Dustin Waycaster, Fire Chief  
Dana Bradley, Park & Rec Director  
Dean Lindsey, Public Works Director  
Mike Williams, Community Development Director  
Doug Ramiser, ICF  
Jeff Geisler, Rumbling Bald

**Absent:**

Commissioner Scott Doster  
Evan Smith, FEMA

**I. Call to Order**

Mayor Carol C. Pritchett called meeting to order at 10:00 am.

**II. Agenda Adoption**

Commissioner Patrick Bryant made a motion to approve the agenda as presented.  
Commissioner Jim Proctor seconded the motion, and all were in favor.

**III. Resolution No. 26-02-16 Accepting SRF Helene Funds for Bulk Chemical Storage Building**

Town Manager, Olivia Stewman presented to council a resolution accepting SRF Helen Funds with principal forgiveness.

Commissioner Dave DiOrio made a motion to approved Resolution No. 26-02-16 Accepting SRF Helen Funds for Bulk Chemical Storage Building. Commissioner Jim Proctor seconded the motion and all were in favor.

**IV. Resolution No. 26-02-16A Accepting SRF Helene Funds for Yacht Island Emergency Waterline**

Town Manager, Olivia Stewman presented to council a resolution to accept funds for Yacht Island Emergency Waterline. The project has been approved for \$6,636,349 in total funding through the Drinking Water State Revolving Fund (DWSRF). This includes \$6,111,262 in principal forgiveness and \$525,087 in loans. Of the principal forgiveness, \$5 million is awarded at 100 percent, with the remaining portion structured at 75 percent principal forgiveness and 25 percent loan. The loan carries a 0 percent interest rate over a 20-year term.

Commissioner Patrick Bryant made a motion to approve Resolution No. 26-02-16A Accepting SRF Helene Funds for Yacht Island Emergency Waterline. Commissioner Dave DiOrio seconded the motion and all were in favor.

**V. Resolution No. 26-02-16B Accepting SRF Helene Funds for New WWTP Design and Construction**

Town Manager, Olivia Stewman presented to council a resolution to accept funds for new wastewater treatment plant design and construction. This supports projects that strengthen infrastructure resilience by reducing flood risk and vulnerability and improving preparedness. The project has been approved for \$5,000,000 in total funding through the Clean Water State Revolving Fund (CWSRF). The full amount is awarded as 100 percent principal forgiveness, with no loan repayment required. Any additional funding, if awarded, would be structured at 75 percent principal forgiveness and 25 percent loan at a 0 percent interest rate over a 20-year term.

The total estimated project cost is \$34,032,402.

Commissioner Dave DiOrio made a motion to approve Resolution No. 26-02-16B Accepting SRF Funds for New WWTP Design and Construction. Commissioner Patrick Bryant seconded the motion and all were in favor.

**VI. Consider Approval of Easement with Duke Energy for Parcel #219448**

Town Manager, Olivia Stewman presented a request from Duke Energy requesting an easement to provide upgrades on Sunset Cove Rd. There are some concerns from residents and concerns with timeline with town work. After discussion council decided to hold off on making any decisions until the March regular meeting after the residents can meet next week and voice their concerns.

**VII. Storm Recovery Updates**

Town Manager, Olivia Stewman, advised there were no new updates since Friday's report.

**Public Works:**

Dean Lindsey, Public Works Director, advised of updates with Town projects.

The west end dredging project is moving forward. The bench will be going away and the bank on the Fae Nectar side will be stabilized. Other side will be stabilized at a later date.

The smart program has began mobilizing and planning taking place this week. The Wetlands at Morse park has been cleaned out and is deeper. Will be adding 2 fountain features to help with the beautification of the park and continue working on the drainage plan for the area as well. Working to restore the walking path and plan for the ramp for future kayak access. Will be working with Vic Knight on the design.

Welcome Center has been demoed and concrete pad and fencing will be removed. Power is being installed and the EV connections will be replaced.

Working on the mold abatement at the beach marina area. Getting quotes and working to bring everything back to code. Still looking good for opening in May.

Tainter Gate project is now complete. Raising lake two feet to evaluate any leaks.

Below the Dam, everything is operational.

Hydro Electrical High Road update. Doug met with Labela who is working on a design that will be presented to FEMA. Discussion ensued. Questions regarding what Morgan Corp was doing. Dean will look into this further and get back to us.

Boys Camp Road bridge is starting in March. Currently in the bidding process. No definite timeline but could take up to three or four months.

Proctor road culvert project is beginning this week. Should not impact access, but there may be some intermittent delays.

Paving will continue across Lake Lure. Charlotte Drive is on list as priority. Along with Memorial Hwy DOT repairs.

Working on access for Mallard Cove Lake Access. Currently in the property phase.

Public Works working to replace three manholes. Advised to have police presence.

Seawall in Tryon Bay Circle is in progress and is on time for completion. Discussion ensued.

### **Parks & Rec:**

Dana Bradley, Parks & Recreation Director, advised contractors have been selected for the weed patch trail. Set to begin soon.

Disc Golf at the green space is available for beginners to advance game players with a 9 hole game play.

Ramps will open once lake is open.

### **Rumbling Bald:**

Jeff Giesler advised they were able to get pontoon boats on to the lake. A huge thank you to Lake Lure and Mountain Biz Works as a grant was received. Did have questions if non-motorized and motorized boats will be granted access at different times. No all boats and active will begin at the same time for all. Rowing teams will be here February 28, 2026.

Along with this Mayor Carol C Pritchett thanked Rumbling Bald for all there help and support during this time.

### **Community Development:**

Mike Williams, recommended that kayaks be allowed after the rowing teams leave. Feel it would give the Town a positive look at the upcoming opening of the Lake. Discussion ensued. Town believes to wait to allow access for all at the same time. Will re-visit once lake comes up more.

**Police Department:**

No storm related updates at this time.

**Fire Department:**

Dustin Waycaster, Fire Chief advised no updates at this time.

**Communications:**

Laura Krejci, Communications Director gave a thank you to all that took time out to be included in interviews.

**ICF:**

Doug Ramiser advised there currently are no updates.

**FEMA:**

Evan Smith, FEMA was unavailable for an update at this time.

**Finance:**

No updates to report currently.

**Other:**

Commissioner Jim Proctor advised we need to make it clear to residents/homeowners that if a approved contactor takes boats out its ok. It is against Town Policy to allow owners to remove boats themselves at this time.

Would the Town consider antique boat show? Other plans have already been made no decision needed.

Commissioner Patrick Bryant asked questions about boat tours and if they will be able to resume.

Waiting on bids to come in for the stationary docks. Hopeful this process will be quick and work can begin immediately. Timeline currently is for April but could be extended a little longer.

With the tours a building is still in the works. We have a few options as to what can be placed there temporarily. Discussion ensued with ideas and will reach out to ridgeline with there perspective and re-visit at a later date.

**VIII. Adjournment:**

Commissioner Jim Proctor made a motion to adjourn Storm Recovery Status meeting.  
Commissioner Patrick Bryant seconded the motion, and all were in favor.

**Attest:**

\_\_\_\_\_  
Kimberly Martin, Town Clerk

\_\_\_\_\_  
Carol C. Pritchett, Mayor

**TOWN OF LAKE LURE  
REGULAR TOWN SPECIAL WORK SESSION AND  
ACTION MEETING**

Wednesday, February 25, 2025 at 8:30 a.m.

Town Hall at the Landings



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**Agenda**

**Roll Call:**

Commissioner Dave DiOrio  
Commissioner Jim Proctor  
Commissioner Patrick Bryant  
Commissioner Scott Doster  
Mayor, Carol C, Pritchett

William Morgan, Attorney  
Olivia Stewman, Town Manager

Dean Lindsey, Public Works Director  
Laura Krejci, Communications Director  
Sean Humphries, Police Chief  
Dustin Waycaster, Fire Chief  
Dana Bradley, Park & Rec Director  
Mike Williams, Community Development  
Mike Hager, Lobbyist (Brianna)

**Absent:**

**I. Call to Order**

Mayor Carol C Pritchett called meeting to order at 8:35 am.

**II. Agenda Adoption:**

Commissioner Dave DiOrio made a motion to amend the agenda switching Item III with IV. Commissioner Jim Proctor seconded the motion and all were in favor.

**III. Review Aqua Park Proposal by Ridgeline**

Mr. Keaton with Ridgeline advised the existing slide is unusable due to hurricane damage and age, prompting a one for one replacement with a removable floating aqua park. It can be removed seasonally, and generally last up to 5 years with modular pieces for easy repair and modification. It will operate only during lifeguard season with additional safety measures including lifeguards patrolling nearby waters. The footprint is modest and can be relocated as needed along the beach and the insurance

coverage will remain under the current concessionaire. The standard aqua park colors are bright and considered visually unappealing by council members but remains that the product can be customized at an additional cost and longer lead times making it unfeasible for this summer. Can purchase standard and slowly replace with customized pieces over time.

This project will meet the minimum water depth requirements and will be anchored to avoid hazards. The location will also be roped-off swimming areas to ensure safety and avoid interference with other watercraft like kayaks. Eventually will remove slides and pump house and replace them in the future.

Commissioner Scott Doster made a motion to approve the Aqua Park proposed by Ridgeline. Commissioner Patrick Bryant seconded the motion and all were in favor.

#### **IV. Discuss Possible Uses for Remaining ARPA Funds**

Town Manager, Olivia Stewman advised that 8 million was granted to the Town of Lake Lure which needs to be used this year. Currently there is 2 million remaining. There are a few options to utilize the money remaining including sewer projects, Land based electrical sites, platforms and valves, and Equipment acquisition. All 4 projects will be addressed but may have to cut one short due to timing. Town Council consensus to move forward as we see fit to complete the most important projects first.

#### **V. Review Proposed Organization Changes**

Town Manager, Olivia Stewman presented to the board organizational restructuring to be more efficient.

Beginning with the dissolution of Parks and Recreation Department. Duties will be redistributed. Trail maintenance will be the responsibility of Public Works. Parks planning Community Development under the direction of Richard Carpenter. Administrative tasks to the finance department. Lake Enforcement will shift to the Police department with Dana Bradley overseeing.

Creation of an Emergency Service department combining the Police and Fire. No cross-training is planned but will be sharing administrative duties and will help to improve response and communication between the two departments.

Dean Lindsey will transition to project manager role focusing on capital projects, while Randy Rawling will be promoted to Public Services Director to handle daily operations.

Town Manager, Olivia Stewman, will have documentation for approval ready for the March 10, 2026 Regular Town Council Meeting. If approved changes will go in effect on March 16, 2026

#### **VI. Review Proposed Personnel Policy Amendments**

Town Manager, Olivia Stewman advised that amendments are prepared and ready for council for the March 10, 2026 Regular Town Council Meeting. This includes amending office hours to be 8:30 am to 4:30 pm with two 15-minute breaks.

Will also present to have Travel Reimbursement to change to mirror the state. These amendments if approve would go into effect on March 16, 2026.

**VII. Resolution NO. 26-02-26 Accepting the Water System Asset Inventory and Assessment**

The Town of Lake Lure received a grant for \$150,000 for a asset inventory of the water system. This inventory improves knowledge of underground pipe locations and pressures zones. Council has requested confirmation on whether a predictive modeling component was included as initially promised. Dean will verify that information and let council know. Approval of the inventory allows final reimbursement and project closeout.

Commissioner Jim Proctor made a motion to approve Resolution No. 26-02-26 Accepting the Water system Asset Inventory and Assessment. Commissioner Dave DiOrio seconded the motion and all were in favor.

**VIII. Consider Labella Task 21 Amendment 1**

An additional \$37, 500 amendments to Labella's Task 21 will cover permits for the entire lake footprint, enabling dredging anywhere at any time. It will also include stream and wetland delineation report and supports the backshore force main project. It is in the Town managers opinion to approve this to avoid future separate permit cost.

Commissioner Jim Proctor made a motion to approve Labella Task 21 Amendment 1. Commissioner Dave DiOrio seconded the motion and all were in favor.

**IX. Consider Labella Task 27 Amendment 1**

Town Manager Olivia Stewman presented a deep water access ramp originally discussed to be in Rumbling Bald. It was determined that the ramp is not suitable for the area. In the process Mallard Cove was identified as a proposed location. The property owners Camp Lurecrest are in agreeance with the easement for use of a parking access located behind the public works building site.

Commissioner Dave DiOrio recommended Community Development review of permitting risks before final approval due to neighbor concerns.

**X. Hager Strategic Solutions Updates**

The council received a legislative update highlighting critical state-level challenges impacting local governance and planning.

The state currently lacks a budget, with session resuming April 21st; no mini-budget expected beforehand.

Key legislative issues include the "Saving American Dream Act" (House Bill 765), property tax reform, and down zoning restrictions (Senate Bill 382).

The town and North Carolina League of Municipalities actively oppose restrictive bills that impede local zoning authority, especially those impacting small municipalities retroactively to June 14, 2024.

Efforts focus on supporting Senate Bill 587 for clarifying nonconforming uses and House Bill 24 to restore down zoning authority for towns under 100,000 population.

#### Impact of Zoning Restrictions

Current zoning changes or enforcement are effectively frozen retroactively, halting many local land use and development controls.

This freeze affects long-term planning and comprehensive plan updates, requiring close attention to legislative progress.

Council emphasized prioritizing this issue as the top policy matter for the session.

Discussions are underway on limiting annual property tax increases, potentially forcing incremental increases up to caps regularly.

Council was asked to identify three funding priorities at varying levels (e.g., \$5 million, \$1 million, under \$1 million) for state support.

Water and sewer infrastructure remains a top funding priority, aligned with the Department of Environmental Quality's Blueprint Project expansion efforts, which could unlock significant mitigation funding.

## **XI. Storm Recovery Updates**

Significant progress and ongoing challenges in storm recovery and lake maintenance were discussed with operational plans outlined.

SMART Program Debris Removal and Laydown Site Approval. Contractors mobilizing to remove floating and near-shore debris in the lake, starting next week.

The green space behind Parks and Rec is approved as the laydown area for debris processing, with ingress/egress planned via Morse Park but no laydown there.

The contractor must restore all areas post-work, including reestablishing orange fencing to maintain public access and safety.

Dredging and Sediment Removal Status (59:31)

The town removed 8,200 cubic yards of sediment from the lake, with permits for up to 30,000 cubic yards.

Remaining sediment piles are located on Happy Hollow and Morse Park sides, with plans to remove all visible pipe and equipment as water rises.

Bank stabilization at Morse Park is over halfway complete but will pause where SMART ingress/egress is planned.

#### Dam Failure Impact Assessment Grant and Sewer Funding

The town received a \$194,200 grant for dam failure impact assessment to support future dam replacement funding.

A \$31 million SRF loan with approximately \$6 million in principal forgiveness was awarded for sewer replacement projects, pending official documentation and Local Government Commission approval.

## **XII. Town Manger/Project Updates**

The lake level is currently at 979.3 feet and rising, with rain expected to increase slowly.

Collegiate rowing events are ongoing through March under special permission; the lake remains closed to public boating.

Boat ramp and marina access remain under construction and restricted until lake levels and construction completion allow safe public use.

Final draft for Boys Camp Road Bridge is complete and will advertise for bid. Plan to move forward with award by March 18, 2026.

## **XIII. Public Comments**

Michelle Gref: 143 Frady Inlet Rd.

I would like clarification on lake use. Rowers will be here and feel that residents and homeowners should be allowed on lake as well but looking to follow the rules.

Council advised that the access is limited to the rowers and will be heavily monitored. Boats can be brought in by approved contractors and continued guidance will be provided as the lake continues to rise.

Randy Nelson: 129 Fisher Ct.

Provide a report from Lake Lure Classical Acadamey. Budget was approved with a 12% reduction in revenue and cutting positions. The school is struggling but continue to do okay and will recover.

No other public comments

It was advised to join for the Comprehensive Plan that will begin next door at 10:00am.

## **XIV. Closed Session in accordance with G.S. 143-318.11 (a) (3) for Attorney Client Privilege and G.S. 143-318.11 for the Purpose of Discussing Personnel Matters**

Commissioner Patrick Bryant made a motion to go into closed session. Commissioner Dave DiOrio seconded the motion and all were in favor.

Council entered closed session.

## **XV. Adjournment:**

Commissioner Jim Proctor made a motion to adjourn. Commissioner Scott Doster seconded the motion and all were in favor. Meeting ended at 10:23 am.

**Attest:**

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Kimberly Martin, Town Clerk

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Carol C. Pritchett, Mayor

**TOWN OF LAKE LURE  
REGULAR TOWN COUNCIL SPECIAL MEETING**

Thursday, December 4, 2025, at 3:00 p.m.

Town Hall at the Landings



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**Agenda**

**Roll Call:**

Commissioner Jim Proctor  
Commissioner Dave DiOrio  
Commissioner Scott Doster  
Mayor, Carol C, Pritchett  
Town Manager, Olivia Stewman

**Absent:**

Commissioner Patrick Bryant

**I. Call to Order**

Mayor Carol C Pritchett called meeting to order at 2:00 pm.

**II. Consider Termination of the memorandum of Understanding with William C. Morgan, Jr. and the Attorney-Client Relationship**

The town council decided to terminate the memorandum of understanding with William C. Morgan Jr. due to the need for broader expertise in municipal law and land management. Termination decision due to expertise gap focused on expanding legal support for increasing land and property acquisition issues. Olivia highlighted that William lacks specialization in property acquisition and complex agreements. The town expects more funding and projects, requiring legal counsel with land management experience. The decision aims to secure legal services more aligned with the town's evolving needs. The termination respects William's contributions but prioritizes business needs.

Commissioner Dave DiOrio made a motion to approve the termination of the memorandum of Understanding with William C. Morgan, Jr. and the Attorney- Client Relationship. Commissioner Scott Doster seconded the motion. Remaining staff was in favor with Commissioner Jim Proctor opposing the motion. Motion carried 2 to 1.

**III. Consider Adoption of Resolution No. 26-02-27 Approving Engagement Agreement with Allen Stahl + Kilbourne and Appointing Allen Stahl + Kilbourne as Town Attorney**

Firm selection and vetting process involved assessing municipal law expertise and local reputation. The recommended firm, Allison Stahl Kilbourne, has experience with municipal law and land use. References were checked, including a highly positive recommendation from the town manager of Montreat. The firm showed strong knowledge during meetings and expressed concerns on zoning issues, demonstrating preparedness.

Budget impact and cost considerations revealed a projected annual increase of around \$7,000 for new legal services. The new law firm offers a 10% discount on fees, potentially offsetting cost increases. Long-term savings expected by consolidating legal services rather than contracting out specialized work separately.

Council members emphasized the value of having one firm handle all municipal legal and zoning issues to avoid paying multiple lawyers for the same meetings

The firm's diverse legal specialties align with the town's increasingly complex legal requirements. Strategic rationale for new firm engagement centered on having access to multiple specialized lawyers under one roof. The new firm offers expertise in housing, transportation, land use, and commercial contracts. This breadth allows tapping into various specialties without multiple contracts or delays

The firm's experience with workforce housing and low-income tax credit projects match town priorities. The firm is prepared to engage in legislative matters impacting zoning and short-term rentals, ensuring proactive legal guidance

The town anticipates significant legal complexity around land use, easements, and zoning changes, requiring active and knowledgeable legal support. Emerging legislative challenges include new zoning laws and accessory dwelling unit rules that may conflict with current town practices. The legal team is tracking legislation like the 2024 SL2024 57 bill affecting short-term rentals and zoning. There is concern about potential traps due to incomplete understanding of new zoning legislation

The legal counsel is actively involved in hearings and advocacy to align town policies with state laws. The firm's legal experts exchange information frequently to stay ahead of regulatory changes. Complex easement and property acquisition issues stem from overlaying modern regulations on a 100-year-old system lacking formal easements.

The town faces challenges formalizing easements for infrastructure projects like the Back Shore Force main. Methodical legal management of easements is critical to avoid protracted disputes or project delays. The firm's approach includes deep involvement in council meetings to stay current on project legal needs. Ongoing legal presence at meetings ensures timely responses to emerging land use issues. Council engagement and legal presence at meetings will ensure comprehensive legal oversight moving forward.

The engagement agreement includes:

- Attendance at all regular council meetings and sessions
- Multiple members of the firm will attend commission and board adjustment meetings to build institutional knowledge
- This coverage allows backup and continuity in legal representation
- Early involvement in planning and zoning meetings helps manage risks from evolving legislation

- Legal support aligned with town's comprehensive plan development will guide policy finalization in coming months

The comprehensive plan's legal implications require close counsel review before approval

The firm aims to provide confidence on legal compliance and risk management for the plan

Close collaboration between council and legal team ensures smooth policy adoption

The firm's local experience supports practical and informed guidance through this process

Commissioner Dave DiOrio made a motion to approve Resolution NO. 26-02-27 Approving Engagement Agreement with Allen Stahl + Kilbourne and Appoint Allen Stahl + Kilbourne as Town Attorney. Commissioner Scott Doster seconded the motion and all were in favor.

Commissioner Scott Doster made a motion to enter closed session. Commissioner Dave DiOrio seconded the motion and all were in favor.

#### **IV. Adjournment:**

Commissioner Scott Doster made a motion to adjourn. Commissioner Jim Proctor seconded the motion and all were in favor.

#### **Attest:**

\_\_\_\_\_  
Kimberly Martin, Town Clerk

\_\_\_\_\_  
Carol C. Pritchett, Mayor

**B.**  
**Approval of Town Manager**  
**Employment Agreement**  
**Renewal**

STATE OF NORTH CAROLINA  
COUNTY OF RUTHERFORD

**TOWN MANAGER EMPLOYMENT  
AGREEMENT RENEWAL**

**THIS AGREEMENT** made and entered into this   3rd   day of April, 2026 by and between the TOWN OF LAKE LURE, NORTH CAROLINA, a body corporate and politic existing pursuant to the laws of the State of North Carolina hereinafter called the “Town” as party of the first part, and OLIVIA STEWMAN hereinafter called “STEWMAN” or “the Manager” as party of the second part, collectively hereinafter referred to as “the parties” both of whom understand as follows:

**WITNESSETH:**

**WHEREAS**, the Town of Lake Lure operates under the Manager form of government pursuant to N.C.G.S. 160A-102; and,

**WHEREAS**, the Town desires to retain the services of Stewman as Town Manager and has offered Stewman a contingent offer of employment, and Stewman has accepted the offer, and the parties desire to enter into this agreement to memorialize the understanding of the parties as to the terms of Stewman’s employment as Town Manager for the Town of Lake Lure;

**NOW THEREFORE**, in consideration of the mutual covenants herein contained, and other good and valuable consideration, the adequacy of which is hereby acknowledged, the parties hereto agree as follows:

1. Employment. The Town hereby employs, engages, and hires Stewman as Town Manager pursuant to N.C.G.S. 160A-147, subject to the terms and conditions set forth herein regarding salary, benefits, severance pay, paid-up vacation, and other

benefits due Manager during both her employment or upon her termination. Manager does hereby accept employment as Manager of the Town subject to the general supervision, advice, and direction of the Mayor and Commissioners of the Town of Lake Lure in accordance with N.C.G.S. 160A-148.

2. Duties of Manager. The Manager shall be the Chief Administrator of the Town of Lake Lure and shall be responsible to the Town Council for administering all municipal affairs placed in her charge by the Mayor and Commissioners, and shall have the following powers and duties as set forth in N.C.G.S. 160A-148:

- (a) She shall appoint, suspend, or remove all Town officers and employees not elected by the people, and whose appointment or removal is not otherwise provided for by law, except the Town Attorney, in accordance with such general personnel rules, regulations, policies or Ordinances as the Council may adopt;
- (b) She shall direct and supervise the administration of all departments, offices, and agencies of the Town, subject to the general direction and control of the Council, except as otherwise provided by law;
- (c) She shall attend all meetings of the Council and recommend any measures that he deems expedient;
- (d) She shall see that all laws of the State, the Town Charter, and the Ordinances, Resolutions and Regulations of the Council are faithfully executed within the Town;

- (e) She shall prepare and submit the annual budget and capital program to the Council;
- (f) She shall annually submit to the Council and make available to the public a complete report on the finances and administrative activities of the Town as of the end of the fiscal year;
- (g) She shall make any other reports that the Council may require concerning the operation of Town Departments, offices, and agencies subject to her direction and control;
- (h) She shall perform any other duties that may be required or authorized by the Council.

3. Professional Obligations. The Manager either is or soon will be a member of the International City/County Management Association (ICMA) and is professionally obligated to adhere to the ICMA Code of Ethics.

4. Manager's Discharge of Duties. The Manager agrees that she will at all times faithfully, industrially, loyally, and to the best of her ability, experience, and talents, perform all of the duties that may be required of and from the Manager pursuant to the express and implied terms hereof as Manager, to the reasonable satisfaction of the Mayor and Town Council. The Manager shall be considered a full-time employee with the obligation to devote a minimum of 40 hours weekly in carrying out the duties of the Manager, and the Manager shall be considered an exempt employee in an executive position under both the Federal and State Laws and Regulations regarding overtime compensation and wages.

5. Term. Even though under North Carolina law the Manager is deemed employed at the pleasure of the Town Council pursuant to N.C.G.S. 160A-147, the Town and Manager desire to provide for continuity in Town Government. Nothing in this agreement shall prevent, limit, or otherwise interfere with the right of the Board of Commissioners to terminate the services of the Town Manager at any time and for any reason. Likewise, nothing in this agreement shall prevent, limit, or otherwise interfere with the right of the Town Manager to resign at any time from her position with the Town of Lake Lure. The term of this agreement shall be (3) years. As the end of the term approaches, the parties shall discuss their intentions

for additional term(s) of one or more years each.

6. Compensation and Manager Benefits. The Town shall pay to the Manager an annual base salary of \$124,161.00, effective March 31, 2026, and will be eligible for the next COLA increase anticipated July 1, 2025. Manager shall receive other general and special benefits enumerated herein, payable on the regular pay periods of the Town during the term of this agreement, subject to increases related to the Manager's annual evaluations and other across-the-board increases afforded to all employees as budgeted by the Town Council. The Manager shall be entitled to an additional three weeks of annual vacation leave upon hire, in addition to the standard annual vacation leave accrued at the maximum rate stated in the Town's Personnel Policy for employees whose yearly base hours are 2080 (40-hour week). In addition, Manager shall be entitled to all benefits offered to the highest classification of full-time employees outlined in the Town's personnel policy. Manager shall be provided with a Town vehicle to drive while in pursuit of Town business, which shall include commuting between home and the workplace, effective beginning in the 2025-2026 fiscal year.

7. Travel and Professional Expenses. Manager shall be reimbursed for all necessary expenses incurred by Manager while traveling pursuant to the Town's directions and in pursuit of the Town's business at the employee and staff rate as established by the Board, and Manager shall submit a voucher monthly to the Town for reimbursement. Additionally, the Town shall pay all professional association membership dues and the Manager's tuition and expenses relating to city manager schools, conferences, and similar job-related educational and professional programs. The Town agrees to budget and pay for professional dues and subscriptions for the Town Manager, which are necessary for his continuation and full participation in national, regional, state, and local associations and organizations that enhance her professional development and benefit the Town of

Lake Lure. These organizations include but are not limited to the International City/County Management Association (ICMA), the North Carolina City/County Management Association (NCCCMA), the North Carolina League of Municipalities (NCLM), and the UNC School of Government(SOG).

8. Manager Evaluations. The Mayor and the Town Council shall meet with the Manager not less than annually and as often as required, to review the Manager's job performance, and shall during the months of May and June of each calendar year, attempt to negotiate the base salary for the ensuing Town fiscal year. In the event the parties are able to agree as to the terms of compensation, then the same shall be reduced to a written memorandum, approved, and then executed by the Mayor and Manager, and shall then constitute the base salary for the next fiscal year. During the first year of her employment, the Manager shall be evaluated after six (6) months and again after 12 months.

9. Outside Activities. The Town Manager shall not engage in any teaching, consulting, counseling, or other non-town-related business without the prior approval of the Board of Commissioners.

10. Bonding. The Town shall bear the full cost of bonding on any fidelity or other bonds required of the Town Manager under any law or ordinance.

11. No Reduction in Benefits. The Town of Lake Lure shall not at any time during the term of this Agreement reduce the salary, compensation, or other financial benefits of the Town manager, except to the degree that such a reduction occurs across the board for all employees of the Town.

12. Termination. Even though under North Carolina law the Manager serves at the pleasure of the Town Council, any termination will be subject to the following additional terms and provisions:

- (a) In the event the Manager is terminated by the Board of Commissioners while she is willing and able to perform her duties, and not for Just Cause, then the Town agrees to pay the Manager a lump sum cash payment equal to her compensation for the remaining time left in the then current term or SIX (6) months compensation, whichever is less. In the event the Board of Commissioners formally requests the

resignation of the Manager, and the Manager resigns, then the resignation shall be deemed to be a termination.

- (b) In the event the Manager is terminated for "just cause," then the Town's only obligation to the Manager is to pay all compensation and benefits accrued but unpaid at the date of termination. "Just cause" is defined and hereby limited for the purposes of this Agreement to "detrimental personal conduct" or "unsatisfactory job performance" as defined in Article IX of the Lake Lure Personnel Policy.
- (c) If the Town reduces the base salary, compensation, or any other financial benefits of the Manager, unless it is applied in no greater percentage than the average reduction of all department heads, such action shall be regarded as a termination.
- (d) Contemporaneously with the delivery of the severance pay hereinafter set forth, the Manager agrees to execute and deliver to the Town a signed release, releasing the Town of all claims arising out of the termination.
- (e) The Manager will provide the Town with a minimum of 60 days written notice of any intended voluntary resignation, and in the event the Manager fails to give a minimum of 60 days written notice, or as agreed between the parties, then the Manager shall forfeit all accumulated vacation and sick leave.

13. Duty of Loyalty Owed to the Town by Manager. The Manager, the Mayor, and the Town Council will at all times endeavor to foster and maintain good communications and relations between the Manager, the Mayor, and the Council. Manager pledges to the Town that she will not seek other employment while employed in good standing as Manager unless the Manager shall first notify the Council and Mayor that the Manager is actively interviewing, applying for, and seeking other employment.

14. Modification of Contract. Any waiver, modification, or amendment to this agreement or to any term or condition herein contained shall not be valid unless in writing and duly executed by the parties herewith, and no evidence of any waiver or modification shall be offered or received in evidence of any proceeding or litigation between the parties hereto arising out of or affecting this agreement or the rights or obligations of the parties hereunder, unless the same is in writing and duly executed. The provisions of this paragraph may not be waived.

15. Severability. All agreements and covenants contained herein are severable, and in the event any of the terms and provisions are held to be invalid by any competent Court, this contract shall be interpreted as if such invalid agreements or covenants were not contained herein.

16. Applicable Law. This agreement and the performance hereunder and all suits and special proceedings shall be interpreted in accordance with the laws of the State of North Carolina to the exclusion of the laws of any other forum. The terms and provisions of this contract are special, so that the parties stipulate and agree that the terms and provisions may be specifically performed by any Court having jurisdiction over the parties and the subject matter of this action in the State of North Carolina.

IN WITNESS WHEREOF, Employer and Manager have executed this Agreement at Lake Lure, North Carolina, on this \_\_\_\_ day of \_\_\_\_\_, 2026.

TOWN OF LAKE LURE

(SEAL)

By: \_\_\_\_\_  
Carol Pritchett, Mayor

Attest: \_\_\_\_\_

Town Clerk

By: \_\_\_\_\_  
Olivia Stewman, Manager

This instrument has been pre-audited in the manner required by the Local Government Budget and Fiscal Control Act.

\_\_\_\_\_  
Stephen Ford, Finance Officer,  
Town of Lake Lure

[NOTARY ON NEXT PAGE]

STATE OF NORTH CAROLINA

COUNTY OF RUTHERFORD

I, a Notary Public, in and for the State and County aforesaid, do hereby certify that \_\_\_\_\_ personally appeared before me and being duly sworn says that she is the Town Clerk of the Town of Lake Lure, a municipal corporation and that by authority duly given, the foregoing instrument was signed in its name by its Mayor, sealed with its corporate seal and attested by \_\_\_\_\_ as its Town Clerk.

Witness my hand and official seal or stamp, this \_\_\_ day of \_\_\_\_\_, 2026.

\_\_\_\_\_  
Notary Public Official Signature

STATE OF NORTH CAROLINA

COUNTY OF RUTHERFORD

I \_\_\_\_\_ a Notary Public for the County and State aforesaid, certify that Olivia Stewman, personally appeared before me this day and acknowledged the execution of the foregoing instrument.

Witness my hand and official stamp or seal, this the \_\_\_\_ day of, 2026.

\_\_\_\_\_  
Notary Public

My Commission expires: \_\_\_\_\_

# **VII UNFINISHED BUSINESS**

- A. Consider Approval of  
Easement with Duke Energy  
for Parcel #219448**

**A.**  
**Consider Approval of  
Easement with Duke Energy  
for Parcel #219448**

**LAKE LURE TOWN COUNCIL**  
**AGENDA ITEM REQUEST FORM**  
**Meeting Date:** March 10, 2026

**SUBJECT:** Consider Approval of Easement with Duke Energy for Parcel #219448

**AGENDA INFORMATION:**

**Agenda Location:** Unfinished Business  
**Item Number:** A  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

Duke Energy plans to complete a critical electrical infrastructure upgrade along Sunset Cove Road that will directly impact the property located at 0 Buffalo Shoals Road (Tax ID 219448). The project is intended to improve grid reliability and efficiency and to reduce outage times for the property and the surrounding area. To proceed with the upgrade, Duke Energy is requesting execution of a standard utility easement to authorize the necessary work.

This item was deferred from the February 16 storm recovery meeting to allow Sunset Cove Road residents and the Town to meet with Duke Energy to discuss the proposed project. As a result of that meeting, Duke Energy amended the project plans to better address and accommodate the needs of the impacted residents and properties.

**RECOMMENDED MOTION AND REQUESTED ACTIONS:**

To approve easement with Duke Energy for Parcel #219448.

**ATTACHMENTS:**

Proposed Easement; ROW Visual

**STAFF'S COMMENTS AND RECOMMENDATIONS:**

Staff recommends approval.

Prepared by: Duke Energy Carolinas, LLC  
Return to: Duke Energy Carolinas, LLC  
Attn: Southeastern Land Company  
PO Box 71059  
Myrtle Beach, SC 29572

Parcel # 219448

EASEMENT

State of North Carolina  
County of Rutherford

THIS EASEMENT (“**Easement**”) is made this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_, from **TOWN OF LAKE LURE**, a municipal corporation and a political subdivision of the State of North Carolina (“**Grantor**”, whether one or more), to **DUKE ENERGY CAROLINAS, LLC**, a North Carolina limited liability company (“**Grantee**”).

Grantor, for and in consideration of the sum of One and 00/100 Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, does hereby grant unto Grantee a perpetual and non-exclusive easement, to construct, reconstruct, operate, patrol, maintain, repair, replace, relocate, add to, modify, and remove electric and communication lines including, but not limited to, all necessary supporting structures, and all other appurtenant apparatus and equipment for the transmission and distribution of electrical energy, and for technological purposes related to the operation of the electric facilities and for the communication purposes of Incumbent Local Exchange Carriers (collectively, “**Facilities**”).

Grantor is the owner of that certain property described in that instrument recorded in **Deed Book 513, Page 264**, Rutherford County Register of Deeds (“**Property**”).

The Facilities may be both overhead and underground and located in, upon, over, along, under, through, and across a portion of the Property within an easement area described as follows:

A strip of land thirty feet (30') in uniform width for the overhead portion of said Facilities and a strip of land twenty feet (20') in uniform width for the underground portion of said Facilities, lying equidistant on both sides of a centerline, which centerline shall be established by the center of the Facilities as installed, along with an area ten feet (10') wide on all sides of the foundation of any Grantee enclosure/transformer, vault and/or manhole, (hereinafter referred to as the "Easement Area").

The rights granted herein include, but are not limited to, the following:

1. Grantee shall have the right of ingress and egress over the Easement Area, Property, and any adjoining lands now owned or hereinafter acquired by Grantor (using lanes, driveways, and adjoining public roads where practical as determined by Grantee).
2. Grantee shall have the right to trim, cut down, and remove from the Easement Area, at any time or times and using safe and generally accepted arboricultural practices, trees, limbs, undergrowth, other vegetation, and obstructions.
3. Grantee shall have the right to trim, cut down, and remove from the Property, at any time or times and using safe and generally accepted arboricultural practices, dead, diseased, weak, dying, or leaning trees or limbs, which, in the opinion of Grantee, might fall upon the Easement Area or interfere with the safe and reliable operation of the Facilities.
4. Grantee shall have the right to install necessary guy wires and anchors extending beyond the boundaries of the Easement Area.
5. Grantee shall have the right to relocate the Facilities and Easement Area on the Property to conform to any future highway or street relocation, widening, or alterations.
6. Grantor shall not place, or permit the placement of, any structures, improvements, facilities, or obstructions, within or adjacent to the Easement Area, which may interfere with the exercise of the rights granted herein to Grantee. Grantee shall have the right to remove any such structure, improvement, facility, or obstruction at the expense of Grantor.
7. Excluding the removal of vegetation, structures, improvements, facilities, and obstructions as provided herein, Grantee shall promptly repair or cause to be repaired any physical damage to the surface area of the Easement Area and Property resulting from the exercise of the rights granted herein to Grantee. Such repair shall be to a condition which is reasonably close to the condition prior to the damage, and shall only be to the extent such damage was caused by Grantee or its contractors or employees.
8. The rights granted in this Easement include the right to install Facilities wherever needed on the Property to serve future development on the Property and adjoining lands. Portions of the Facilities may be installed immediately and other portions may be installed in the future as the need develops. Facilities installed in the future shall be installed at locations mutually agreeable to the parties hereto if they are to be located outside of the Easement Area. Upon any future installations of Facilities at mutually agreed locations, the Easement Area shall be deemed to include such future locations.
9. All other rights and privileges reasonably necessary, in Grantee's sole discretion, for the safe, reliable, and efficient installation, operation, and maintenance of the Facilities.

The terms Grantor and Grantee shall include the respective heirs, successors, and assigns of Grantor and Grantee. The failure of Grantee to exercise or continue to exercise or enforce any of the rights herein granted shall not be construed as a waiver or abandonment of the right thereafter at any time, or from time to time, to exercise any and all such rights.

TO HAVE AND TO HOLD said rights, privilege, and easement unto Grantee, its successors, licensees, and assigns, forever. Grantor warrants and covenants that Grantor has the full right and authority to convey to Grantee this perpetual Easement, and that Grantee shall have quiet and peaceful possession, use and enjoyment of the same.

IN WITNESS WHEREOF, Grantor has signed this Easement under seal effective this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

**TOWN OF LAKE LURE**  
a municipal corporation and a political subdivision of  
the State of North Carolina

\_\_\_\_\_(SEAL)  
Name and Title

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, a Notary Public of \_\_\_\_\_ County, State of

\_\_\_\_\_, certify that \_\_\_\_\_, as \_\_\_\_\_ of **TOWN OF LAKE LURE**, a municipal corporation and a political subdivision of the State of North Carolina, personally appeared before me this day and acknowledged the due execution of the foregoing EASEMENT.

Witness my hand and notarial seal, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.



Notary Public: \_\_\_\_\_

Commission expires: \_\_\_\_\_

**WO 53494080 - LAKE LURE RET 1201 15201201 OH-UG CONVERSION**  
**RUTHERFORD COUNTY**

189 SUNSET COVE RD, LAKE LURE, NC 28746

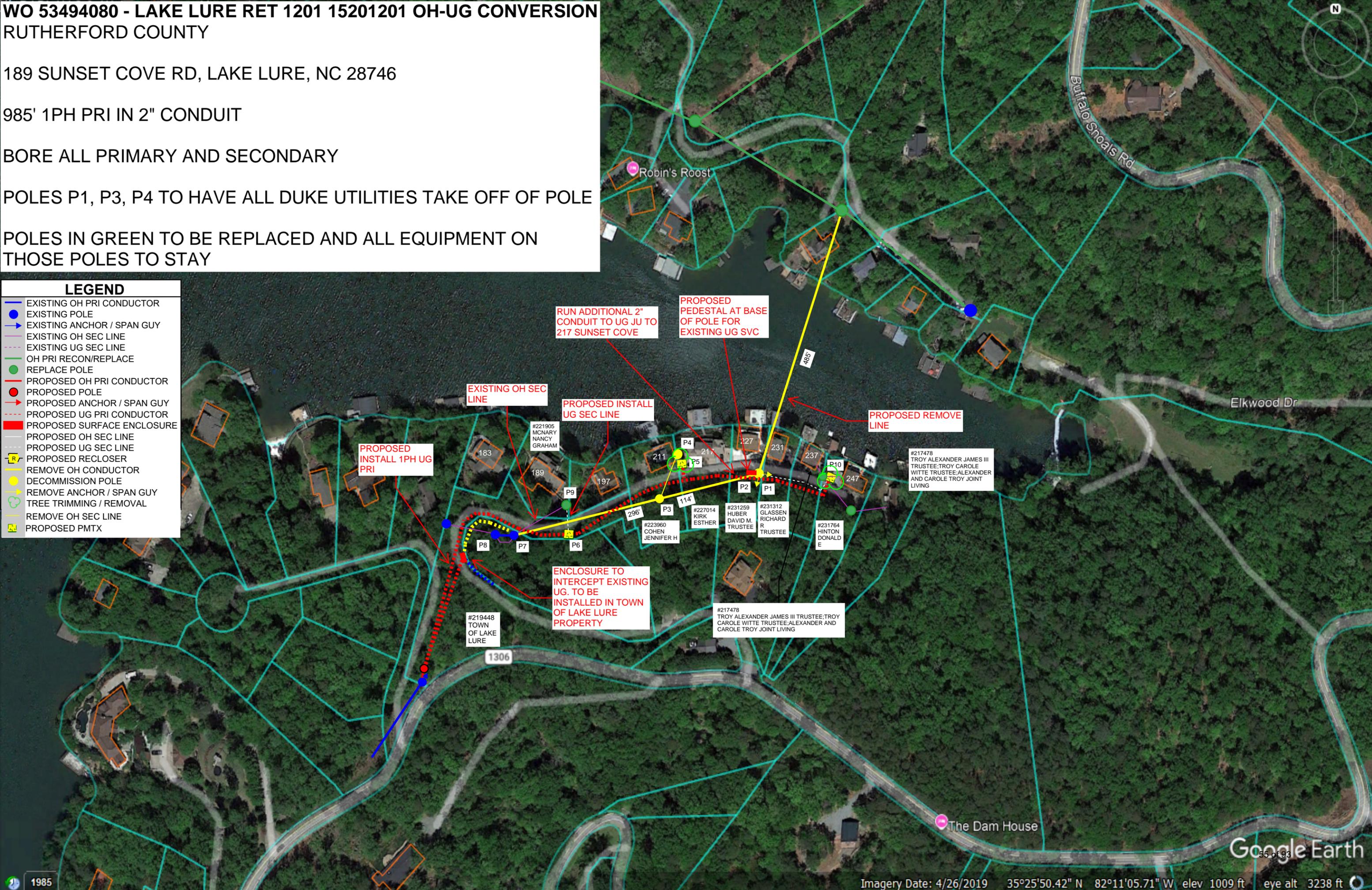
985' 1PH PRI IN 2" CONDUIT

BORE ALL PRIMARY AND SECONDARY

POLES P1, P3, P4 TO HAVE ALL DUKE UTILITIES TAKE OFF OF POLE

POLES IN GREEN TO BE REPLACED AND ALL EQUIPMENT ON THOSE POLES TO STAY

LEGEND	
	EXISTING OH PRI CONDUCTOR
	EXISTING POLE
	EXISTING ANCHOR / SPAN GUY
	EXISTING OH SEC LINE
	EXISTING UG SEC LINE
	OH PRI RECON/REPLACE
	REPLACE POLE
	PROPOSED OH PRI CONDUCTOR
	PROPOSED POLE
	PROPOSED ANCHOR / SPAN GUY
	PROPOSED UG PRI CONDUCTOR
	PROPOSED SURFACE ENCLOSURE
	PROPOSED OH SEC LINE
	PROPOSED UG SEC LINE
	PROPOSED RECLOSER
	REMOVE OH CONDUCTOR
	DECOMMISSION POLE
	REMOVE ANCHOR / SPAN GUY
	TREE TRIMMING / REMOVAL
	REMOVE OH SEC LINE
	PROPOSED PMTX



## **VIII.**

# **NEW BUSINESS**

- a. Consider Approval of Easement with Duke Energy for Parcels #1657963 and #1616909**
- b. Consider Adoption of Resolution NO. 26-03-10 Approving Updated Organization Chart and Position Description**
- c. Consider Adoption of Resolution No. 26-03-10A Amending the Town of Lake Lure Personnel Policy**
- d. Consider Sewer Request from Lake Lure Senior Living Facility**
- e. Consider Adoption of Resolution NO. 26-03-10 B Accepting Emergency Management Disaster Relief and Mitigation Fund Grant for Dam Failure Impact Assessment**

**A.**  
**Consider Approval of Easement  
with Duke Energy for Parcels  
#1657963 and #1616909**

**LAKE LURE TOWN COUNCIL  
AGENDA ITEM REQUEST FORM  
Meeting Date: March 10, 2026**

**SUBJECT:** Consider Approval of Easement with Duke Energy for Parcels #1657963 and #1616909

**AGENDA INFORMATION:**

**Agenda Location:** New Business  
**Item Number:** A  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

Duke Energy is proposing a critical electrical infrastructure upgrade along Memorial Highway that will directly impact two Town of Lake Lure owned properties. The project is part of Duke Energy's ongoing efforts to enhance the electrical grid and is expected to improve system reliability and efficiency while reducing outage times for the affected properties and the surrounding community. To proceed with this upgrade, Duke Energy is requesting execution of a standard utility easement to authorize the necessary work.

**RECOMMENDED MOTION AND REQUESTED ACTIONS:**

To approve easement with Duke Energy for Parcels #1657963 and #1616909

**ATTACHMENTS:**

Proposed Easement; ROW Visual

**STAFF'S COMMENTS AND RECOMMENDATIONS:**

Staff recommends approval.

Prepared by: Duke Energy Carolinas, LLC  
Return to: Duke Energy Carolinas, LLC  
Attn: Southeastern Land Company  
PO Box 71059  
Myrtle Beach, SC 29572

Parcel # 0652-03-5381; 0642-90-4006

### EASEMENT

State of North Carolina  
County of Rutherford

THIS EASEMENT (“**Easement**”) is made this \_\_\_\_ day of \_\_\_\_ 20\_\_\_\_, from **TOWN OF LAKE LURE**, a municipal corporation and a political subdivision of the State of North Carolina (“**Grantor**”, whether one or more), to **DUKE ENERGY CAROLINAS, LLC**, a North Carolina limited liability company (“**Grantee**”).

Grantor, for and in consideration of the sum of One and 00/100 Dollar (\$1.00) and other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, does hereby grant unto Grantee a perpetual and non-exclusive easement, to construct, reconstruct, operate, patrol, maintain, repair, replace, relocate, add to, modify, and remove electric and communication lines including, but not limited to, all necessary supporting structures, and all other appurtenant apparatus and equipment for the transmission and distribution of electrical energy, and for technological purposes related to the operation of the electric facilities and for the communication purposes of Incumbent Local Exchange Carriers (collectively, “**Facilities**”).

Grantor is the owner of that certain property described in that instrument recorded in **Deed Book 153, Page 356**, Rutherford County Register of Deeds, and also as being bounded by lands of **0652036339** on the North, **WINDSONG LANE** on the East, **CHARLOTTE DRIVE** on the South, and **MEMORAIL HWY** on the West (“**Property**”).

The Facilities may be both overhead and underground and located in, upon, over, along, under, through, and across a portion of the Property within an easement area described as follows:

A strip of land thirty feet (30') in uniform width for the overhead portion of said Facilities and a strip of land twenty feet (20') in uniform width for the underground portion of said Facilities, lying equidistant on both sides of a centerline, which centerline shall be established by the center of the Facilities as installed, along with an area ten feet (10') wide on all sides of the foundation of any Grantee enclosure/transformer, vault and/or manhole, (hereinafter referred to as the "Easement Area").

The rights granted herein include, but are not limited to, the following:

1. Grantee shall have the right of ingress and egress over the Easement Area, Property, and any adjoining lands now owned or hereinafter acquired by Grantor (using lanes, driveways, and adjoining public roads where practical as determined by Grantee).
2. Grantee shall have the right to trim, cut down, and remove from the Easement Area, at any time or times and using safe and generally accepted arboricultural practices, trees, limbs, undergrowth, other vegetation, and obstructions.
3. Grantee shall have the right to trim, cut down, and remove from the Property, at any time or times and using safe and generally accepted arboricultural practices, dead, diseased, weak, dying, or leaning trees or limbs, which, in the opinion of Grantee, might fall upon the Easement Area or interfere with the safe and reliable operation of the Facilities.
4. Grantee shall have the right to install necessary guy wires and anchors extending beyond the boundaries of the Easement Area.
5. Grantee shall have the right to relocate the Facilities and Easement Area on the Property to conform to any future highway or street relocation, widening, or alterations.
6. Grantor shall not place, or permit the placement of, any structures, improvements, facilities, or obstructions, within or adjacent to the Easement Area, which may interfere with the exercise of the rights granted herein to Grantee. Grantee shall have the right to remove any such structure, improvement, facility, or obstruction at the expense of Grantor.
7. Excluding the removal of vegetation, structures, improvements, facilities, and obstructions as provided herein, Grantee shall promptly repair or cause to be repaired any physical damage to the surface area of the Easement Area and Property resulting from the exercise of the rights granted herein to Grantee. Such repair shall be to a condition which is reasonably close to the condition prior to the damage, and shall only be to the extent such damage was caused by Grantee or its contractors or employees.
8. The rights granted in this Easement include the right to install Facilities wherever needed on the Property to serve future development on the Property and adjoining lands. Portions of the Facilities may be installed immediately and other portions may be installed in the future as the need develops. Facilities installed in the future shall be installed at locations mutually agreeable to the parties hereto if they are to be located outside of the Easement Area. Upon any future installations of Facilities at mutually agreed locations, the Easement Area shall be deemed to include such future locations.
9. All other rights and privileges reasonably necessary, in Grantee's sole discretion, for the safe, reliable, and efficient installation, operation, and maintenance of the Facilities.

The terms Grantor and Grantee shall include the respective heirs, successors, and assigns of Grantor and Grantee. The failure of Grantee to exercise or continue to exercise or enforce any of the rights herein granted shall not be construed as a waiver or abandonment of the right thereafter at any time, or from time to time, to exercise any and all such rights.

TO HAVE AND TO HOLD said rights, privilege, and easement unto Grantee, its successors, licensees, and assigns, forever. Grantor warrants and covenants that Grantor has the full right and authority to convey to Grantee this perpetual Easement, and that Grantee shall have quiet and peaceful possession, use and enjoyment of the same.

IN WITNESS WHEREOF, Grantor has signed this Easement under seal effective this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

**TOWN OF LAKE LURE**

a municipal corporation and a political subdivision of the State of North Carolina

\_\_\_\_\_(SEAL)

PRINT NAME \_\_\_\_\_

TITLE: \_\_\_\_\_

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

I, \_\_\_\_\_, a Notary Public of \_\_\_\_\_ County, State of

\_\_\_\_\_, certify that \_\_\_\_\_, as \_\_\_\_\_ of **TOWN OF LAKE LURE**, a municipal corporation and a political subdivision of the State of North Carolina, personally appeared before me this day and acknowledged the due execution of the foregoing EASEMENT.

Witness my hand and notarial seal, this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.



Notary Public: \_\_\_\_\_

Commission expires: \_\_\_\_\_

# WO 54962076 ROW VISUAL - RUTHERFORD COUNTY

CONTINUE TO PAGE 1

### LEGEND

- EXISTING OH PRI CONDUCTOR
- EXISTING POLE
- EXISTING ANCHOR / SPAN GUY
- EXISTING OH SEC LINE
- - - EXISTING UG SEC LINE
- OH PRI RECON/REPLACE
- REPLACE POLE
- REPLACE ANCHOR / SPAN GUY
- PROPOSED OH PRI CONDUCTOR
- PROPOSED POLE
- PROPOSED ANCHOR / SPAN GUY
- - - PROPOSED UG PRI CONDUCTOR
- PROPOSED SURFACE ENCLOSURE
- PROPOSED OH SEC LINE
- - - PROPOSED UG SEC LINE
- R PROPOSED RECLOSER
- REMOVE OH CONDUCTOR
- DECOMMISSION POLE
- REMOVE ANCHOR / SPAN GUY
- ✂ TREE TRIMMING / REMOVAL

**P10**  
35.421590, -82.186849

EXISTING POLE 40/5  
REMOVE AND REPLACE DOWNGUYS  
WITHIN EASEMENT

VEG WORK WILL BE REQ TO DGUYS

**P12**  
35.420616, -82.187300

EXISTING POLE 45/4  
31' FROM EOP  
REMOVE AND INSTALL DOWN GUYS

VEG WORK WILL BE REQ TO INSTALL  
DGUYS

TOWN OF LAKE LURE  
PARCEL ID:1616909  
ESMT

TOWN OF LAKE LURE  
PARCEL ID:1657963  
ESMT

**P30**  
35.4215504, -82.1865204

PROPOSED POLE 50/3  
POLE SET 9' DEEP  
STAKE 8' FROM EOP  
**NET NEW POLE INSIDE NCDOT ROW**  
**NET NEW DOWNGUYS OUTSIDE NCDOT ROW**

VEG WORK WILL BE REQ TO INSTALL  
NEW POLE AND DGUYS

**P31**  
35.421051, -82.186750

PROPOSED POLE 50/3  
POLE SET 9' DEEP  
STAKE 8' FROM EOP  
**NET NEW POLE IN NCDOT ROW**

VEG WORK WILL BE REQ TO INSTALL NEW POLE

**SCOPE OF WORK**

DUKE TO RECONDUCTOR 3PH 336ACSR PRI  
AND 4/0ACSR NEUT TO 556AAC PRI & NEUT

**P10**  
REMOVE DBL DGUY (LL = 13' W)  
INSTALL DBL DGUY (LL = 15' N)

**P12**  
REMOVE (2) DBL DGUY (LL = 16' & 20' SE)  
INSTALL (4) DBL DGUY (LL = 15' & 18' NE & NW)

**P23**  
INSTALL NEW 45/4 (EOP 33')  
POLE WITHIN EXISTING EASEMENT  
(TANGENT FRAMING ANG 0 DEG)

**P30**  
INSTALL NEW 50/3 IN NCDOT ROW (EOP 8')  
(DDE LG ANG FRAMING ANG 33 DEG)  
INSTALL (2) NEW DBL DGUY (LL = 15' & 18' E)

**P31**  
INSTALL NEW 50/3 IN NCDOT ROW (EOP 8')  
(TANGENT FRAMING ANG 0 DEG)

**P32**  
INSTALL NEW 50/3 IN NCDOT ROW (EOP 8')  
(BUCKARM FRAMING ANG 90 DEG)  
INSTALL (2) NEW DBL DGUY (LL = 16' & 19' E)  
INSTALL (2) NEW DBL DGUY (LL = 16' & 19' S)

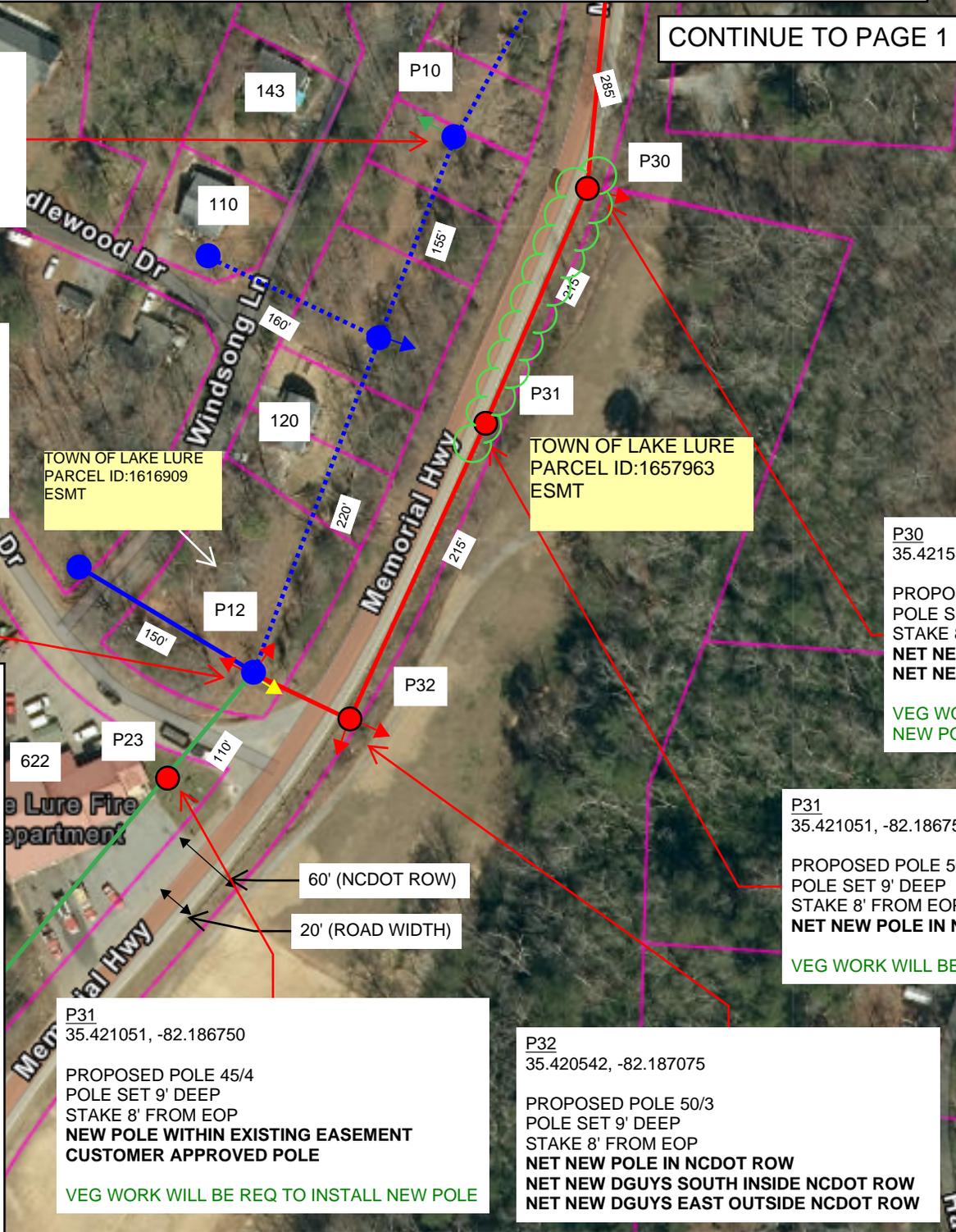
**P31**  
35.421051, -82.186750

PROPOSED POLE 45/4  
POLE SET 9' DEEP  
STAKE 8' FROM EOP  
**NEW POLE WITHIN EXISTING EASEMENT**  
**CUSTOMER APPROVED POLE**

VEG WORK WILL BE REQ TO INSTALL NEW POLE

**P32**  
35.420542, -82.187075

PROPOSED POLE 50/3  
POLE SET 9' DEEP  
STAKE 8' FROM EOP  
**NET NEW POLE IN NCDOT ROW**  
**NET NEW DGUYS SOUTH INSIDE NCDOT ROW**  
**NET NEW DGUYS EAST OUTSIDE NCDOT ROW**



**B.**  
**Consider Adoption of Resolution  
No. 26-03-10 Approving  
Updated Organization Chart and  
Position Description**

**LAKE LURE TOWN COUNCIL**  
**AGENDA ITEM REQUEST FORM**  
**Meeting Date:** March 10, 2026

**SUBJECT:** Consider Adoption of Resolution No. 26-03-10 Approving Updated Organizational Chart and Position Descriptions

**AGENDA INFORMATION:**

**Agenda Location:** New Business  
**Item Number:** B  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

The first recommendation is the establishment of a unified Emergency Services Department under a single Emergency Services Director with two distinct divisions, Fire and Emergency Management and Police. This structure is intended to provide consistent executive leadership, strengthen coordination across public safety functions, and support long term planning, policy development, and asset management. Operational responsibilities, professional standards, and certification requirements within the Fire and Police divisions would remain distinct and unchanged. Shared administrative and logistical resources would be consolidated where practical to improve efficiency and reduce duplication.

The second recommendation is the dissolution of the Parks, Recreation, and Lake Department, with its responsibilities reassigned to departments better aligned with the nature of the work. All existing services would continue without interruption, including boat permits, parks and trails maintenance, lake enforcement, advisory board support, grant coordination, and dredging management. Boat permitting and related administrative functions would be transferred to the Finance Department to improve internal controls, data accuracy, and workflow efficiency. Parks and trails maintenance would be reassigned to Public Works. Lake enforcement would be overseen by the Police Division of the Emergency Services Department to ensure clear authority and consistent application of ordinances while maintaining continuity through existing staff roles. The Parks and Recreation Board would continue to serve in an advisory capacity and would work with the Community Development Department to advance parks and recreation planning initiatives and provide recommendations to Town Council.

The final recommendation involves a targeted realignment within the Public Services Department to better balance day to day operational oversight with capital project delivery. The current Public Services Director would transition into a dedicated Project Manager role focused on major capital projects, infrastructure planning, disaster recovery, and grant funded work. To maintain strong operational leadership, the Town would promote an existing employee from within the department to serve as Public Services Director, providing direct oversight of daily operations, staffing, scheduling, and service delivery. This approach leverages institutional knowledge, strengthens continuity, and clearly separates operational management from project execution.

Collectively, these recommendations are intended to modernize the Town's organizational structure, clarify roles and lines of authority, enhance coordination across departments, and support effective service delivery in a sustainable and fiscally responsible manner. These proposed changes were reviewed during the February 25 work session and action meeting. Staff

is prepared to implement the approved organizational changes, with the transition scheduled to occur on Monday the 16th.

**RECOMMENDED MOTION AND REQUESTED ACTIONS:**

To adopt Resolution No. 26-03-10 Approving Updated Organizational Chart and Position Descriptions

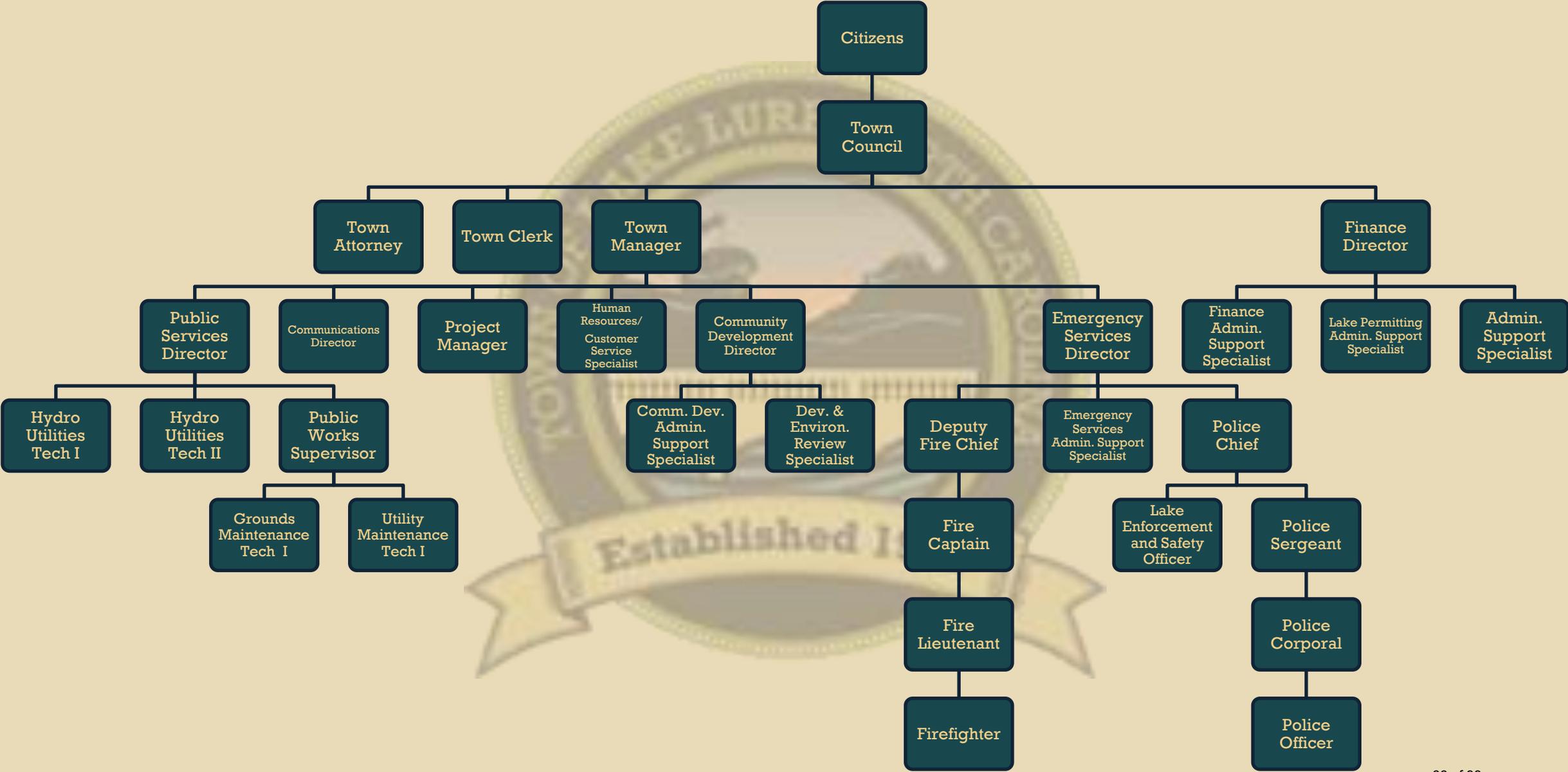
**ATTACHMENTS:**

Resolution No. 26-03-10 Approving Updated Organizational Chart and Position Descriptions; Updated Organizational Chart; Position Descriptions

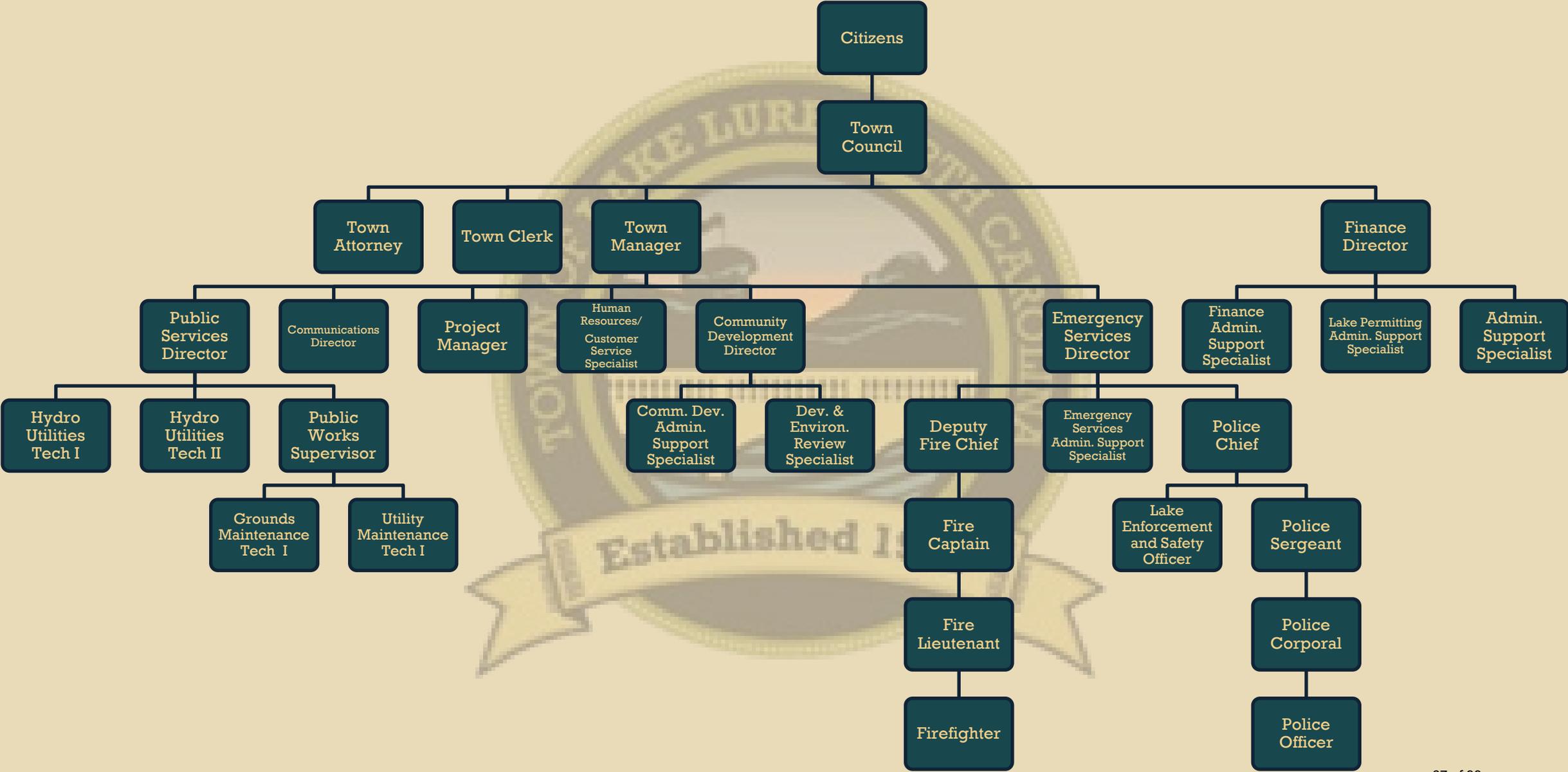
**STAFF'S COMMENTS AND RECOMMENDATIONS:**

Staff recommends adoption.

# Town of Lake Lure Organizational Chart



# Town of Lake Lure Organizational Chart



**C.**  
**Consider Adoption of Resolution**  
**No. 26-03-10A Amending the**  
**Town of Lake Lure Personnel**  
**Policy**

**LAKE LURE TOWN COUNCIL**  
**AGENDA ITEM REQUEST FORM**  
**Meeting Date:** March 10, 2026

**SUBJECT:** Consider Adoption of Resolution No. 26-03-10A Amending the Town of Lake lure Personnel Policy

**AGENDA INFORMATION:**

**Agenda Location:** New Business  
**Item Number:** C  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

Town staff requests Council consideration of two proposed amendments to the Town's Personnel Policy intended to promote consistency and improve operational efficiency.

- **Administrative Office Hours**  
Staff recommends establishing administrative office hours of 8:30 a.m. to 4:30 p.m., which aligns with the period when most residents, contractors, and visitors access Town Hall services. Currently, administrative office hours are 8:00 a.m. to 5:00 p.m. with no required lunch period. In practice, many employees prefer not to take a full one-hour lunch break and instead work through lunch in order to arrive later or leave earlier. While well intentioned, this practice can create scheduling and staffing challenges and results in varying expectations among staff. Establishing a standardized schedule provides clearer expectations and a more consistent structure for the workday. The Personnel Policy will continue to allow up to two 15-minute breaks per day.
  
- **Travel Reimbursement Policy**  
Staff also recommends updating the Town's travel reimbursement policy to align with State of North Carolina reimbursement rates. The Town's current rates are outdated and no longer reflect the cost of travel. Aligning with state rates provides a fair, recognized standard that is periodically updated and reduces the need for future policy revisions.

If approved, these organizational changes and policy updates will be in full effect on Monday, March 16, 2026.

**RECOMMENDED MOTION AND REQUESTED ACTIONS:**

To adopt Resolution No. 26-03-10A Amending the Town of Lake lure Personnel Policy.

**ATTACHMENTS:**

Resolution No. 26-03-10A Amending the Town of Lake lure Personnel Policy

**STAFF'S COMMENTS AND RECOMMENDATIONS:**

Staff recommends adoption.



**RESOLUTION NO. 26-03-10A**

**RESOLUTION BY THE TOWN OF LAKE LURE TOWN COUNCIL  
AMENDING TOWN OF LAKE LURE PERSONNEL POLICY MANUAL**

**WHEREAS**, the Town of Lake Lure has a Personnel Policy Manual that was adopted November, 2001, and has been subsequently amended; and

**WHEREAS**, the Personnel Policy Manual shall apply to conditions of employment of the employees of the Town of Lake Lure; and

**WHEREAS**, administrative office hours are currently 8:00 a.m. to 5:00 p.m. with no required lunch period, which has led some employees to work through lunch in order to arrive later or leave earlier, creating scheduling and staffing challenges; and

**WHEREAS**, establishing administrative office hours of 8:30 a.m. to 4:30 p.m. with up to two 15-minute breaks per day, which may be applied toward meal time, provides a clear, consistent, and manageable schedule while aligning staffing with peak public-facing hours; and

**WHEREAS**, the Town's current travel reimbursement rates are outdated and no longer reflect the cost of travel; and

**WHEREAS**, updating the travel reimbursement policy to align with State of North Carolina reimbursement rates provides a fair, recognized standard that is periodically updated and reduces the need for frequent policy revisions; and

**WHEREAS**, staff recommends that these amendments be adopted to improve clarity, consistency, and operational efficiency for all Town employees.

**NOW, THEREFORE BE IT RESOLVED**, the Town of Lake Lure Personnel Policy Manual be amended a follows:

[ADDITIONS TO TEXT ARE UNDERLINED; DELETIONS ARE ~~STRUCK THROUGH~~]

**SECTION ONE.** Personnel Policy Manual Article V ("The Pay Plan"), Section 13 ("Work Week and Pay Period") is hereby amended as follows:

**Section 13. Work Week and Pay Period**

The standard seven day workweek for the Town of Lake Lure is 12:00 a.m. Saturday to 12:00 midnight on the following Friday. ~~The Town's office hours are Monday through Friday from~~

~~8:00 a.m. to 5:00 p.m. However, many services performed by Town employees are essential and some must be provided 24 hours each day, every day of the year. Therefore, Town employees may be required to work changing shifts and the number of hours per day may differ.~~

All employees shall be paid on a bi-weekly basis with the payday being every other Thursday at noon. When a holiday falls on payday Thursday the payday will be the last workday preceding the holiday. The pay received on payday pays each employee for work performed from the last payday through the Friday preceding the current payday.

Exempt employees are encouraged to track their time on the Town's time-card system reflecting time worked. Exempt employees, working less than 4 hours per day, must use half-day increments of vacation, sick and/or comp. time; however, if appropriate and necessary, may work additional hours during the same week to reduce the required leave usage.

**SECTION TWO.** Personnel Policy Manual Article VI ("Work Conditions and Expectations"), Section 1 ("Work Week and Pay Period") is hereby amended as follows:

### **Section 1. Work Period and Schedule**

The work period and schedule for all divisions will be determined by the Town Manager after considering the activities required to meet work needs of particular departments. The workweek is defined as seven consecutive days beginning at 12:00 a.m. on Saturday and ending at 12:00 midnight on the following Friday. Office hours for all administrative departments shall be from ~~8:00 a.m.~~ 8:30 a.m. to ~~5:00 p.m.~~ 4:30 p.m. Monday through Friday except for official holidays.

Full-time, non-exempt, employees (other than public safety shift employees) normally work 5 8-hour days per work week and are subject to the overtime provisions set forth in Article V, Section 10 of this policy. Public Safety employee's work schedule(s) will be established and maintained in accordance with 29 C.F.R. 553.230.

~~All employees shall be allowed a lunch period during the work day that shall not exceed one (1) hour. In addition all employees may be allowed up to 15 minutes for a break in the morning and in the afternoon, when work demands permit. All employees may take up to two 15-minute breaks per day. Employees may combine the two 15-minute breaks to create a single 30-minute lunch period.~~ While eating at your workspace is not prohibited, the Town has a duty, under 29 C.F.R. 785.13, to manage the work time of employees. To that end, any employee who stays or eats at their workspace during their designated lunch period, shall perform no work and must be entirely relieved of any and all work duties and responsibilities.

Exempt employees in administrative, professional or managerial positions shall work the number of hours necessary to assure the satisfactory performance of their duties.

When the activities of a particular department require some other schedule to meet work needs, the Town Manager may authorize a deviation from the normal schedule.

**SECTION THREE.** Personnel Policy Manual Article VI ("Work Conditions and Expectations"), Section 9 ("Reimbursement for use of Personal Vehicle/Travel Policy") is hereby amended as follows:

**Section 9. Reimbursement for use of Personal Vehicle/Travel Policy**

The Town will reimburse an employee for use of their personal vehicle for Town business when authorized by the Town Manager. The rate of reimbursement will be equal to the amount allowed for tax deduction purposes by the IRS at the time of use. When required to travel overnight, the Town will reimburse the employee for meals and lodging in a standard medium priced hotel or motel whenever possible. If an employee is attending a formal, organized meeting or convention, he/she may stay at the hotel or motel where the meeting is held. In all cases the Town will pay no more than the regular single room rate.

Travel advances may be made to cover anticipated travel expenses with the approval of the Finance Director. The Department Head or Town Manager must approve all travel in advance.

Regular pay will continue during authorized absence from the Town on official business. When an employee is away from the job on official Town business or is participating in authorized training courses or attending authorized professional conferences, he/she will be considered as officially working, will be covered by Workers' Compensation in accordance with the North Carolina Workers' Compensation Act, and will not have the time counted against an employee's leave balances.

Town employees traveling on official business will be reimbursed for all actual expenses paid by them from their own personal funds for meals, hotel/motel charges, registration fees, tuitions fees and the like, as per prior arrangements approved by the Town Manager. In order to be reimbursed, receipts for individual expenses of \$20.00 or more and submission of an approved travel form must be presented. The Town reimbursement amounts for travel expenses will follow the state of North Carolina's reimbursement amounts for meals during approved business travel.

The travel portion of this policy applies to regular Town employees, Town Attorney, Mayor, Council Members or other persons who are traveling on official, approved Town business.

**SECTION FOUR.** This resolution shall be effective March 16, 2026.

**READ, APPROVED AND ADOPTED** this the \_\_\_\_\_ day of \_\_\_\_\_, 2026.

**ATTEST:**

\_\_\_\_\_  
Kimberly Martin, Town Clerk

\_\_\_\_\_  
Mayor Carol C. Pritchett

**D.  
Consider Sewer Request from  
Lake Lure Senior Living  
Facility**

**LAKE LURE TOWN COUNCIL  
AGENDA ITEM REQUEST FORM  
Meeting Date: March 10, 2026**

**SUBJECT:** Consider Sewer Request from Lake Lure Senior Living Facility

**AGENDA INFORMATION:**

**Agenda Location:** New Business  
**Item Number:** D  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

A has submitted a request for 8,475 gallons per day (GPD) of wastewater capacity for a proposed Independent Senior Living Center located outside the corporate limits of Lake Lure. The project is proposed adjacent to the Landings and would include 74 individual units consisting of 1- and 2-bedroom apartments.

Per the Town's Sewer Capacity Allocation Policy governs the use of the remaining 84,000 GPD of wastewater capacity and requires Council review of connections outside Town limits based on capacity thresholds, public benefit, environmental impact, consistency with Town plans, and financial feasibility.

If Council approves the request, the applicant would be required to pay \$3.25 per GPD allocated, totaling \$27,534, prior to final approval.

**RECOMMENDED MOTION AND REQUESTED ACTIONS:**

To approve or deny sewer request for Lake Lure Senior Living Facility.

**ATTACHMENTS:**

Engineered Drawings submitted by Civil Design Concepts, P.A.

**STAFF'S COMMENTS AND RECOMMENDATIONS:**

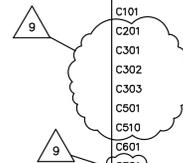
Staff requests that Council consider capacity thresholds, public benefit, environmental impact, consistency with Town plans, and financial feasibility and cost recovery in its review.

# LAKE LURE SENIOR LIVING FACILITY

LAKE LURE, NORTH CAROLINA

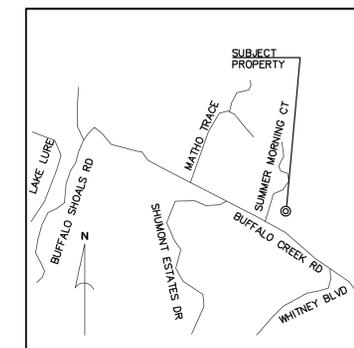
PREPARED FOR:  
**RUTHERFORD IL PROPCO LLC**  
 PO BOX 26255  
 WINSTON-SALEM, NC 27114-6255  
**JEFF MILES**  
 (904) 356-6715

INDEX OF SHEETS	
Sheet No.	Title
C000	COVER
C001	SURVEY
C101	EXISTING CONDITIONS & DEMOLITION PLAN
C201	SITE PLAN
C301	ROUGH GRADING & EROSION CONTROL PLAN - PHASE I
C302	ROUGH GRADING & EROSION CONTROL PLAN - PHASE II
C303	ROUGH GRADING & EROSION CONTROL PLAN - PHASE III
C501	FINE GRADING & STORM DRAINAGE PLAN
C510	STORM PROFILES
C601	WATER PLAN
C701	SEWER PLAN
C702	SEWER PROFILE
C921	SITE DETAILS
C922	SITE DETAILS
C931	EROSION CONTROL DETAILS
C932	EROSION CONTROL DETAILS
C933	EROSION CONTROL DETAILS
C951	STORM DRAINAGE DETAILS
C952	STORM DRAINAGE DETAILS
C961	WATER DETAILS
C962	WATER DETAILS
C971	SEWER DETAILS
C972	SEWER DETAILS
C998	NCG01



1	10/04/22	INITIAL NCDEQ EC SUBMITTAL	MFK
2	11/16/22	NCDEQ EC RESUBMITTAL	MFK

DEVELOPMENT DATA	
OWNER/DEVELOPER:	RUTHERFORD IL PROPCO LLC PO BOX 26255 WINSTON-SALEM, NC 27114-6255
CONTACT:	JEFF MILES (904) 356-6715
CIVIL ENGINEER:	CIVIL DESIGN CONCEPTS, P.A. 168 PATTON AVENUE ASHEVILLE, NC 28801
CONTACT:	DAVID BRAUN, P.E. (828) 252-5388



VICINITY MAP  
(NOT TO SCALE)



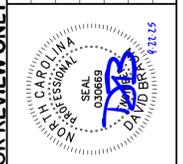
168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 452-4410  
FAX (828) 252-5388

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 27786  
PHONE (828) 452-4410  
FAX (828) 252-5388

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com

NCBELS LICENSE #: C-2164

NO.	DATE	DESCRIPTION	BY
3	12/05/22	NCDEQ EC LON W/ MODIFICATIONS RESUBMITTAL	MFK
4	12/12/22	NCDEQ SEWER FAST TRACK SUBMITTAL	MFK
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK
6	06/19/25	ARCHITECTURAL REVISION & AMENDMENTS	JSD
8	08/21/25	LAYOUT REVISIONS	JSD
△	09/22/25	LAYOUT, STORM, & GRADING REVISION	JSD

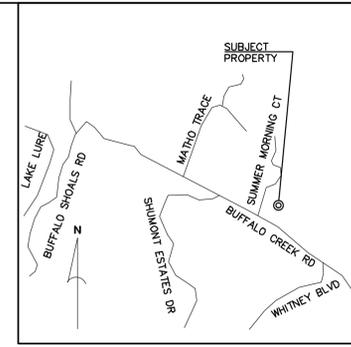
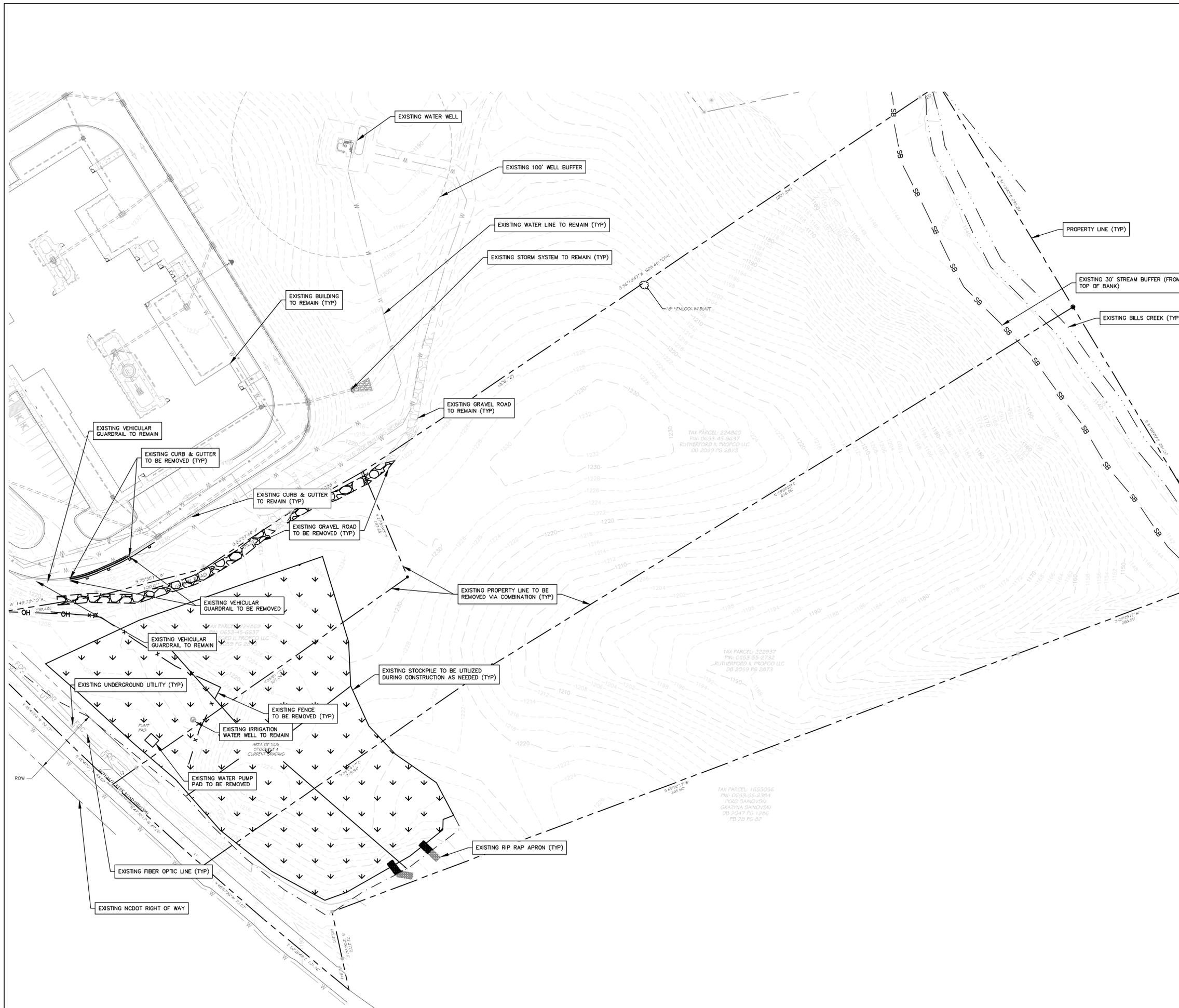


FOR REVIEW ONLY

COVER FOR:  
**LAKE LURE SENIOR LIVING FACILITY**  
RUTHERFORD IL PROPCO LLC - LAKE LURE, NORTH CAROLINA

DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NCDEQ EC NO.: RUTH-E-2023-007  
XXX PERMIT NO. xxx

SHEET  
**C000**



**DEVELOPMENT DATA**

OWNER/DEVELOPER: RUTHERFORD IL PROPCO LLC  
 PO BOX 28255  
 WINSTON-SALEM, NC 27114-6255  
 JEFF MILES  
 (904) 356-6715

CONTACT:

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.  
 ASHEVILLE, NC 28801  
 DAVID BRAUN, P.E.  
 (828) 252-5388

CONTACT:

SURVEYOR: MCABEE & ASSOCIATES, P.A.  
 3 MCABEE TRAIL  
 FAIRVIEW, NC 28730  
 ERIC S. MCABEE, P.L.S.  
 (828) 628-1295

CONTACT:

**PROJECT DATA**

PIN: 0653-45-6637, 0653-45-8637,  
 0653-55-2732

ADDRESS: 890 BUFFALO CREEK ROAD  
 LAKE LURE, NC  
 2059/2873

DEED BOOK/PAGE: 9.185 ACRES  
 RUTHERFORD COUNTY  
 UNINCORPORATED

ZONING:

SETBACKS:  
 FRONT: 20'  
 SIDES: 15'  
 REAR: 20'  
 CORNER: N/A

DISTURBED AREA: 8.00 AC

**EXISTING CONDITIONS & DEMO LEGEND**

ASPHALT TO REMAIN: ———

ASPHALT TO BE REMOVED: - - - - -

PROJECT PROPERTY LINE: - - - - -

ADJACENT PROPERTY LINE: - - - - -

EXISTING WATER TO BE REMOVED: W ———

OVERHEAD UTILITIES TO REMAIN: OH ———

OVERHEAD UTILITIES TO BE REMOVED: OH ———

STORM PIPES/STRUCTURES TO BE REMOVED: - - - - -

STORM PIPES/STRUCTURES TO REMAIN: - - - - -

UNDERGROUND UTILITIES TO BE REMOVED: UGE ———

EXISTING STOCKPILE TO BE REMOVED: [Symbol]

BUILDING TO BE REMOVED: [Symbol]

PAVEMENT TO BE REMOVED: [Symbol]

TREES TO BE REMOVED: [Symbol]

**CDC** Civil Design Concepts, PA  
 www.civildesignconcepts.com  
 NCBELS LICENSE #: C-2184

NO.	DATE	DESCRIPTION
4	12/12/22	NCDEO SEWER FAST TRACK SUBMITTAL
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS
6	06/19/23	ARCHITECTURAL REVISIONS & AMENDMENTS
7	08/01/23	LAYOUT REVISIONS NORTH SIDE
8	08/21/23	LAYOUT REVISIONS
9	09/22/23	LAYOUT, STORM, AND GRADING REVISION

**FOR REVIEW ONLY**

DAVID BRAUN, P.E.  
 PROFESSIONAL ENGINEER  
 STATE OF NORTH CAROLINA  
 LICENSE NO. 030689

EXISTING CONDITIONS & DEMOLITION PLAN FOR:  
**LAKE LURE SENIOR LIVING FACILITY**  
 RUTHERFORD IL PROPCO LLC - LAKE LURE, NORTH CAROLINA

EXISTING CONDITIONS & DEMOLITION PLAN  
 GRAPHIC SCALE  
 ( IN FEET )  
 1 inch = 40 ft.

811 Know what's below. Call before you dig.

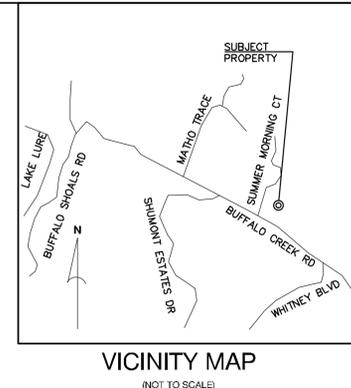
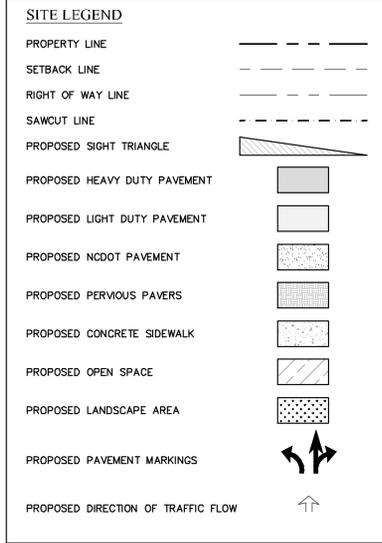
NORTH

DRAWN BY: MFK  
 CDC PROJECT NO.: 22175  
 NCDEO EC NO.: RUTHE-2023-007  
 XXX PERMIT NO. xxx

SHEET  
**C101**

**NOTES**

- ALL SITEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS.
- SINGLE-PHASE CONSTRUCTION.
- ALL WORK MUST BE PERFORMED BY A NORTH CAROLINA LICENSED CONTRACTOR.
- TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS INSPECTIONS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDOING WORK.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING SITE FEATURES (SHOWN TO REMAIN) AND NEWLY COMPLETED WORK DURING CONSTRUCTION. ANY DAMAGE INCURRED DURING OR RESULTING FROM CONSTRUCTION ACTIVITY IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULOCO AT 1-800-632-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS.
- SIDEWALKS SHALL BE CONSTRUCTED IN ORDER TO PROVIDE POSITIVE DRAINAGE AWAY FROM ALL STRUCTURES. A MAXIMUM OF 5% SIDEWALK/CROSSWALK LONGITUDINAL SLOPE IS PERMITTED. A MAXIMUM OF 1/4" PER FOOT SIDEWALK/CROSSWALK CROSS SLOPE IS PERMITTED. ANY SIDEWALK/CROSSWALK INSTALLED WITH A STEEPER SLOPE SHALL BE REMOVED AND REPLACED AT CONTRACTOR'S EXPENSE.
- ALL RADII LISTED ARE FROM FACE OF CURB UNLESS OTHERWISE NOTED. ALL PARKING LOT RADII ARE 4' UNLESS OTHERWISE NOTED.
- ALL ROAD/PARKING LOT IMPROVEMENTS, STRIPING AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE LATEST MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD). CONTRACTOR MAY USE A PAINT SUITABLE FOR ASPHALT APPLICATION IN LIEU OF THERMOPLASTIC WITH PRIOR APPROVAL FROM THE ENGINEER.
- CURB AND GUTTER ON THE HIGH SIDE OF PAVED AREAS AND ROADS SHALL BE CONSTRUCTED WITH SPILLOUT CURB AND GUTTER. CURB AND GUTTER ON THE LOW SIDE SHALL BE CONSTRUCTED WITH STANDARD CURB AND GUTTER. REFER TO SPILLOUT CURB AND GUTTER DETAILS. CURB END TREATMENT SHALL BE APPLIED AT ALL CURB ENDS. REFER TO CURB END TREATMENT DETAIL.
- PROPOSED ROADS TO BE PRIVATE. NCDOT IS NOT RESPONSIBLE FOR ANY ROAD MAINTENANCE.



**DEVELOPMENT DATA**

**OWNER/DEVELOPER:** RUTHERFORD IL PROPCO LLC  
PO BOX 28255  
WINSTON-SALEM, NC 27114-6255  
JEFF MILES  
(904) 356-6715

**CONTACT:**

**CIVIL ENGINEER:** CIVIL DESIGN CONCEPTS, P.A.  
188 PATTON AVENUE  
ASHEVILLE, NC 28801  
DAVID BRAUN, P.E.  
(828) 252-5388

**CONTACT:**

**SURVEYOR:** MCABEE & ASSOCIATES, P.A.  
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ERIC S. MCABEE, P.L.S.  
(828) 628-1295

**CONTACT:**

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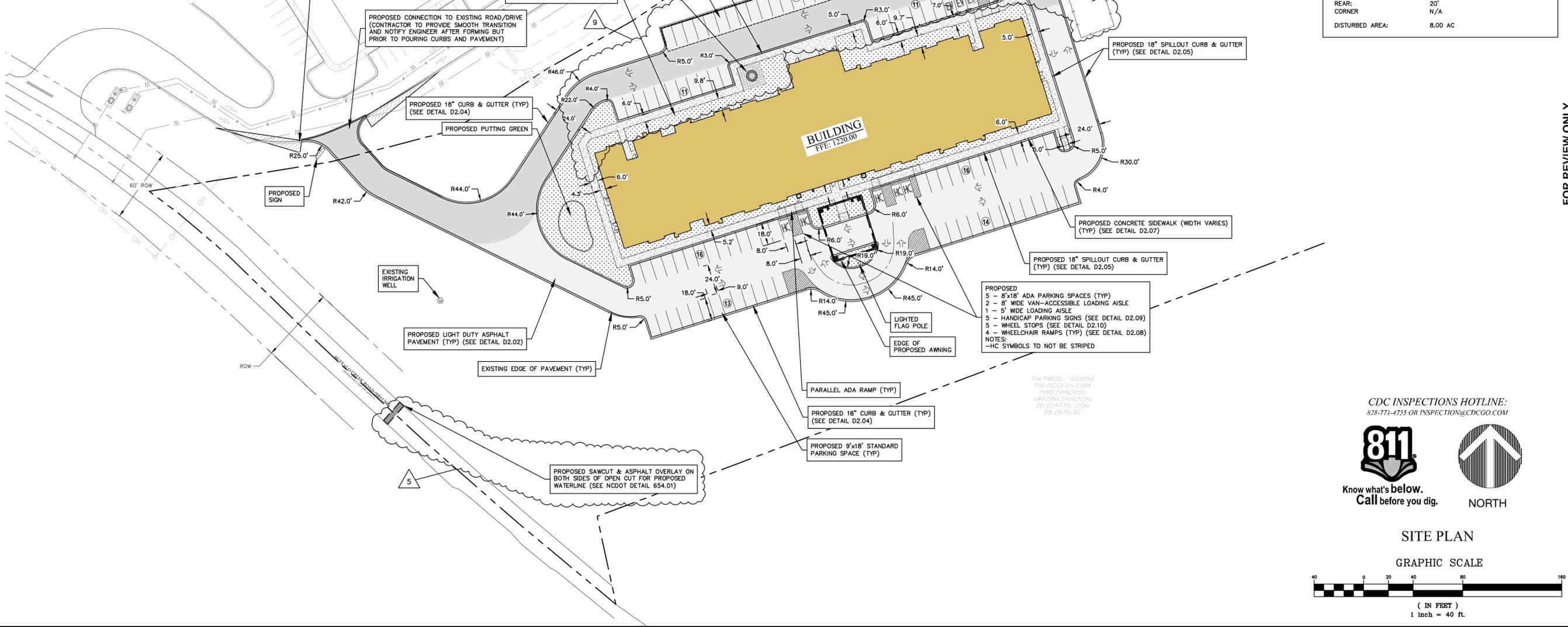
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CORNER: N/A

**DISTURBED AREA:** 8.00 AC



**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com  
NCELS LICENSE #: C-2184

NO.	DATE	DESCRIPTION
4	12/12/22	NCECO SEWER FAST TRACK SUBMITTAL
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**FOR REVIEW ONLY**

**PROFESSIONAL SEAL**  
DAVID BRAUN, P.E.  
030689

**LAKE LURE SENIOR LIVING FACILITY**

RUTHERFORD IL PROPCO LLC - LAKE LURE, NORTH CAROLINA

**811** Know what's below. Call before you dig.

**SITE PLAN**

**GRAPHIC SCALE**  
( IN FEET )  
1 inch = 40 ft.

**SHEET**  
**C201**

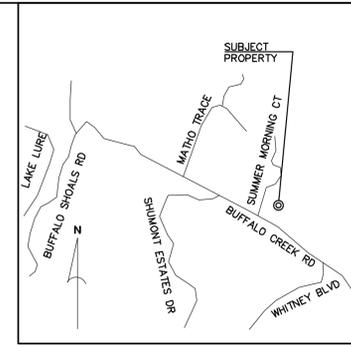
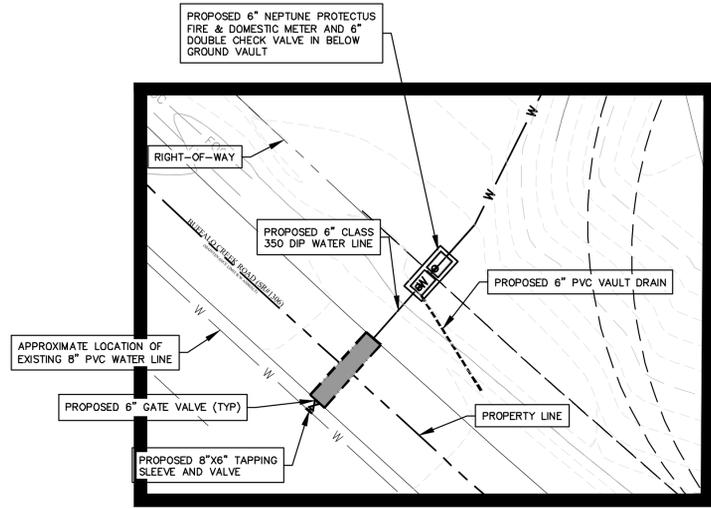
DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NCECO EC NO.: RUTHE-2023-007  
XXX PERMIT NO. xxx

**NOTES**

- SEE WATER DETAIL SHEETS FOR ALL GENERAL WATER NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL WATER PLANS.
- WATER METERS ARE TO BE PLACED MAXIMUM OF 5' OFF EDGE OF PAVEMENT/SIDEWALK. WHEN A UTILITY STRIP IS PRESENT, METERS SHALL BE INSTALLED WITHIN STRIP. WHEN SIDEWALK IS CONSTRUCTED AND NO STRIP IS AVAILABLE, SERVICE LINES CROSSING SIDEWALK SHALL BE CONSTRUCTED WITH PVC SLEEVE EXTENDING 6" ON EITHER SIDE OF SIDEWALK PER CITY OF ASHEVILLE STANDARDS AND SPECIFICATIONS.
- TYPICAL EASEMENTS FOR WATER LINES LOCATED OUTSIDE ESTABLISHED UTILITY EASEMENTS OR ROAD RIGHT-OF-WAYS SHALL BE A 20 FEET. THE ENTIRE WATER EASEMENT MUST BE CLEAR AND REMAINED CLEARED OF TREE PLANTINGS, EXISTING TREES, AND ANY PERMANENT STRUCTURES.
- TO SCHEDULE THE REQUIRED INSPECTIONS ON ALL WORK, CALL THE CIVIL DESIGN CONCEPTS INSPECTIONS HOTLINE AT 828-771-4755, OR EMAIL AT INSPECTIONS@CDCGO.COM. FAILURE TO SCHEDULE INSPECTIONS MAY RESULT IN UNCOVERING OR REDOING WORK.

**WATER LEGEND**

EXISTING WATERLINE	— W —
EXISTING WATER METER	⊙
EXISTING FIRE HYDRANT	▲
PROPOSED WATER LINE	— W —
PROPOSED WATER SERVICE	— W —
PROPOSED WATER METER	⊙
PROPOSED FIRE HYDRANT	▲
PROPOSED GATE VALVE	⊕
PROPOSED AIR RELEASE VALVE	⊙



**VICINITY MAP**  
(NOT TO SCALE)

**DEVELOPMENT DATA**

OWNER/DEVELOPER: RUTHERFORD IL PROPCO LLC  
PO BOX 28255  
WINSTON-SALEM, NC 27114-6255  
JEFF MILES  
(904) 356-6715

CONTACT:

CIVIL ENGINEER: CIVIL DESIGN CONCEPTS, P.A.  
188 PATTON AVENUE  
ASHEVILLE, NC 28801  
DAVID BRAUN, P.E.  
(828) 252-5388

CONTACT:

SURVEYOR: MCABEE & ASSOCIATES, P.A.  
3 MCABEE TRAIL  
FAIRVIEW, NC 28730  
ERIC S. MCABEE, P.L.S.  
(828) 628-1295

CONTACT:

**PROJECT DATA**

PIN: 0653-45-6637, 0653-45-8637, 0653-55-2732

ADDRESS: 890 BUFFALO CREEK ROAD  
LAKE LURE, NC  
2059/2873

DEED BOOK/PAGE: 9.185 ACRES  
SITE ACREAGE: RUTHERFORD COUNTY  
ZONING: UNINCORPORATED

SETBACKS:  
FRONT: 20'  
SIDES: 15'  
REAR: 20'  
CORNER: N/A

DISTURBED AREA: 8.00 AC

188 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 462-4410  
FAX (828) 262-5388

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28786  
PHONE (828) 462-4410  
FAX (828) 462-5388

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com

NCBELS LICENSE #: C-2184

NO.	DATE	DESCRIPTION	BY
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK
6	06/19/25	ARCHITECTURAL REVISION & AMENDMENTS	ASD
8	08/21/25	LAYOUT REVISIONS	ASD



**FOR REVIEW ONLY**

WATER PLAN FOR: LAKE LURE SENIOR LIVING FACILITY

RUTHERFORD IL PROPCO LLC - LAKE LURE, NORTH CAROLINA

WATER PLAN FOR: LAKE LURE SENIOR LIVING FACILITY

811 Know what's below. Call before you dig.

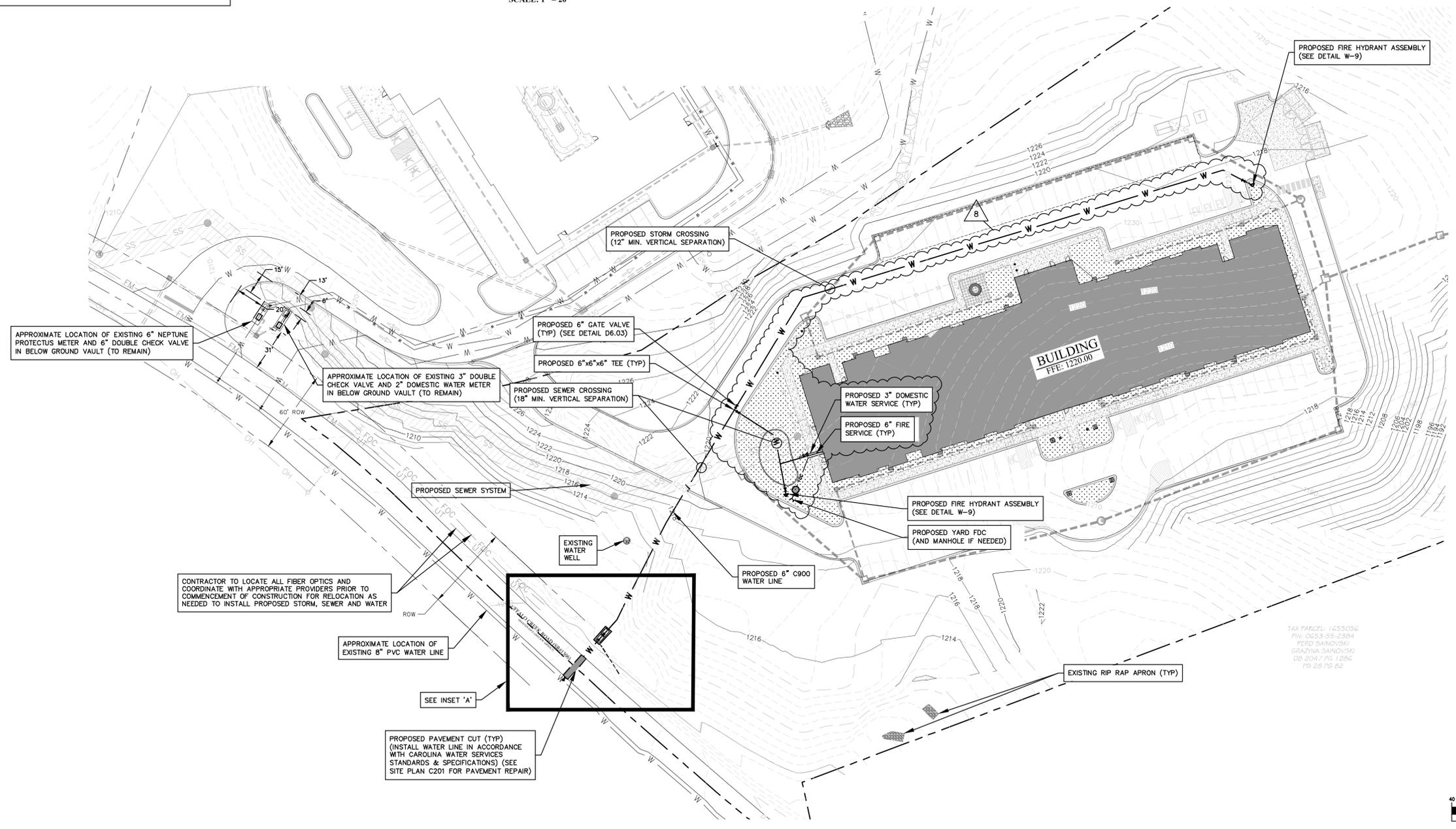
**WATER PLAN**

GRAPHIC SCALE

( IN FEET )  
1 inch = 40 ft.

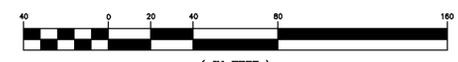
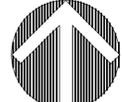
SHEET  
**C601**

DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NCDEQ EC NO.: RUTHE-2023-007  
XXX PERMIT NO. xxx



TAX PARCEL: 1455056  
PIN: 0653-55-2904  
PERO SAINOVSKI  
GRAZINA SAINOVSKI  
08/20/17 PG 1/286  
PS 26 PS 62

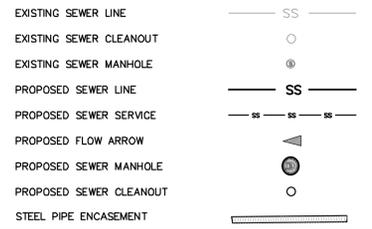
CDC INSPECTIONS HOTLINE:  
828-771-4755 OR INSPECTION@CDCGO.COM



**NOTES**

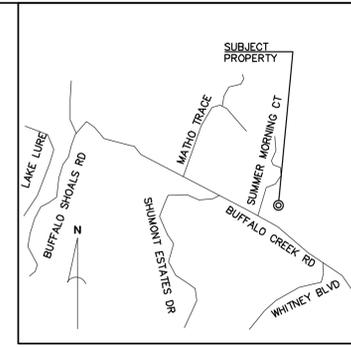
- SEE UTILITY DETAIL SHEETS FOR ALL GENERAL WATER & SEWER NOTES. CONTRACTOR RESPONSIBLE FOR INCLUSION OF DETAILS SHEETS WITH ALL UTILITY PLANS.
- WATER METERS ARE TO BE PLACED MAXIMUM OF 5' OFF EDGE OF PAVEMENT/SIDEWALK. WHEN A UTILITY STRIP IS PRESENT, METERS SHALL BE INSTALLED WITHIN STRIP. WHEN SIDEWALK IS CONSTRUCTED AND NO STRIP IS AVAILABLE, SERVICE LINES CROSSING SIDEWALK SHALL BE CONSTRUCTED WITH PVC SLEEVE EXTENDING 6" ON EITHER SIDE OF SIDEWALK CAROLINA WATER SERVICE OF NC STANDARDS AND SPECIFICATIONS.
- TYPICAL EASEMENTS FOR WATER LINES LOCATED OUTSIDE ESTABLISHED UTILITY EASEMENTS OR ROAD RIGHT-OF-WAYS SHALL BE A 20 FEET. THE ENTIRE WATER EASEMENT MUST BE CLEAR AND REMAINED CLEARED OF TREE PLANTINGS, EXISTING TREES, AND ANY PERMANENT STRUCTURES.
- CROSSINGS TO MAINTAIN MSD REQUIRED VERTICAL SEPARATION. CONTRACTOR TO CONTACT ENGINEER ON ANY CROSSING THAT DOES NOT MEET THIS SEPARATION, OR SEPARATION IS CLOSER THAN 1'. REFER TO GENERAL NOTES ON SEWER DETAIL SHEET FOR SEPARATION REQUIREMENTS BETWEEN UTILITIES.
- TYPICAL EASEMENTS FOR SEWER LINES LOCATED OUTSIDE ESTABLISHED UTILITY EASEMENTS OR ROAD RIGHT-OF-WAYS SHALL BE AS SHOWN. THE ENTIRE SEWER EASEMENT MUST BE CLEAR AND REMAINED CLEARED OF TREE PLANTINGS, EXISTING TREES, AND ANY PERMANENT STRUCTURES.
- NO PORTION OF THIS PROJECT LIES WITHIN THE 100-YR FEMA FLOODPLAIN.

**SEWER LEGEND**



STRUCTURE TABLE (INVERTS BASED ON 2D LENGTH TO INSIDE EDGES)				
STRUCTURE	STATION	STRUCTURE DETAILS	DEPTH	DESCRIPTION
EMH	10+00	RIM 1210.0 INV. IN 1206.6 (MH1-EMH)	3.8'±	EX. MANHOLE
MH1	10+81	RIM 1213.3 INV. IN 1207.6 (MH2-MH1) INV. OUT 1207.4 (MH1-EMH)	5.9'±	MANHOLE
MH2	11+77	RIM 1216.4 INV. IN 1208.7 (MH3-MH2) INV. OUT 1208.5 (MH2-MH1)	7.9'±	MANHOLE
MH3	12+12	RIM 1212.8 INV. IN 1209.2 (MH4-MH3) INV. OUT 1209.0 (MH3-MH2)	3.8'±	MANHOLE
MH4	12+49	RIM 1213.0 INV. IN 1209.8 (MH5-MH4) INV. OUT 1209.5 (MH4-MH3)	3.4'±	MANHOLE
MH5	14+47	RIM 1216.4 INV. IN 1211.8 (MH6-MH5) INV. OUT 1211.7 (MH5-MH4)	4.7'±	MANHOLE
MH6	15+86	RIM 1219.6 INV. OUT 1213.1 (MH6-MH5)	6.4'±	MANHOLE

PIPE TABLE (SLOPES BASED ON 2D LENGTH TO INSIDE EDGES)				
PIPE NAME	SIZE	LENGTH	SLOPE	MATERIAL
MH1-EMH	8"	77'	1.0%	PVC
MH2-MH1	8"	92'	1.0%	PVC
MH3-MH2	8"	31'	1.0%	PVC
MH4-MH3	8"	33'	1.0%	PVC
MH5-MH4	8"	194'	1.0%	PVC
MH6-MH5	8"	135'	1.0%	PVC



VICINITY MAP  
(NOT TO SCALE)

**DEVELOPMENT DATA**

**OWNER/DEVELOPER:** RUTHERFORD IL PROPCO LLC  
PO BOX 28255  
WINSTON-SALEM, NC 27114-6255  
JEFF MILES  
(904) 356-6715

**CIVIL ENGINEER:** CIVIL DESIGN CONCEPTS, P.A.  
188 PATTON AVENUE  
ASHEVILLE, NC 28801  
DAVID BRAUN, P.E.  
(828) 252-5388

**SURVEYOR:** MCABEE & ASSOCIATES, P.A.  
3 MCABEE TRAIL  
FAIRVIEW, NC 28730  
ERIC S. MCABEE, P.L.S.  
(828) 628-1295

**CONTACT:**

**PROJECT DATA**

**PIN:** 0653-45-6637, 0653-45-8637, 0653-55-2732

**ADDRESS:** 890 BUFFALO CREEK ROAD  
LAKE LURE, NC 28759

**DEED BOOK/PAGE:** 2059/2873

**SITE ACREAGE:** 9.185 ACRES

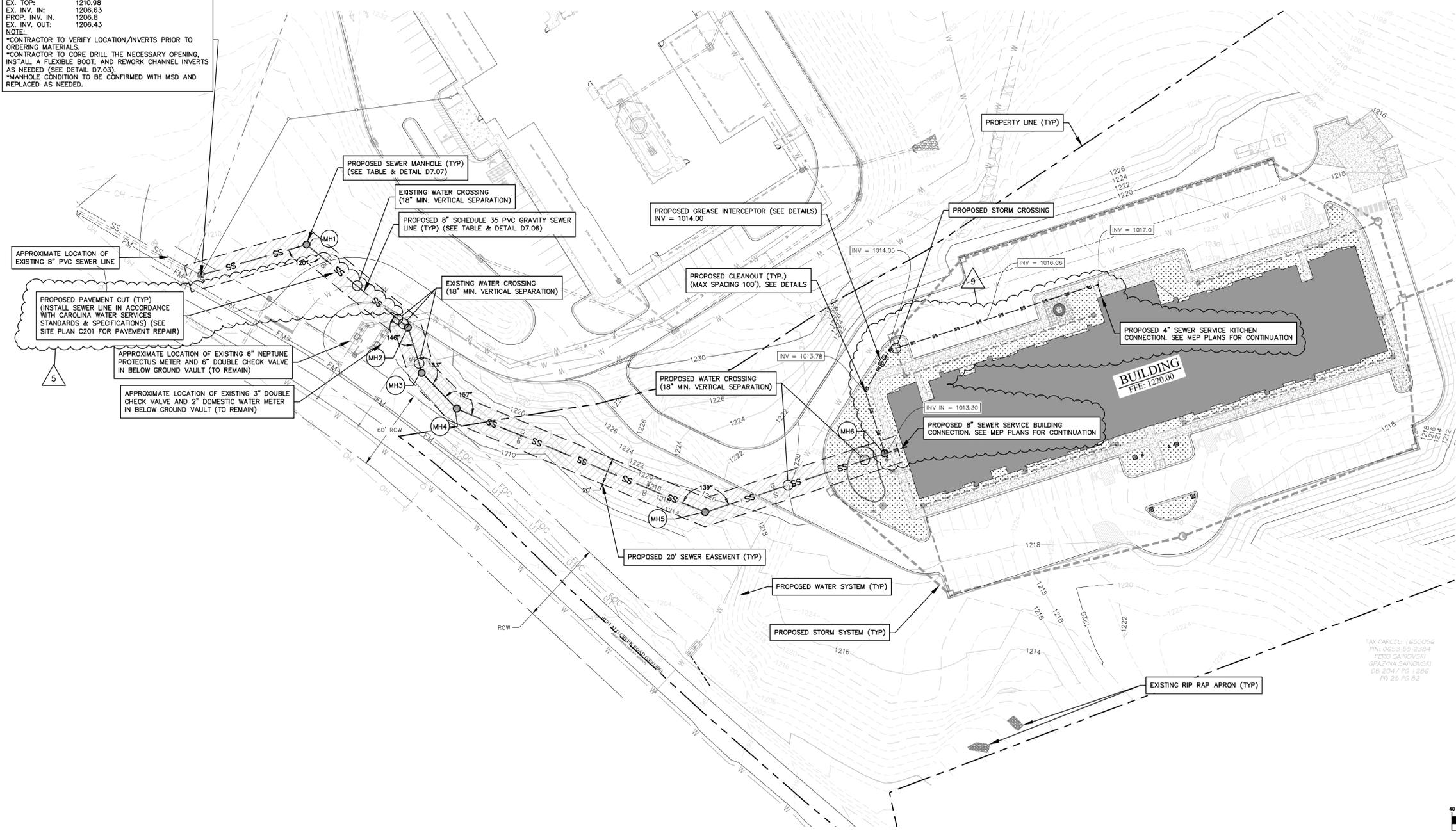
**ZONING:** RUTHERFORD COUNTY  
- UNINCORPORATED

**SETBACKS:**  
FRONT: 20'  
SIDES: 15'  
REAR: 20'  
CORNER: N/A

**DISTURBED AREA:** 8.00 AC

PROPOSED SERVICE CONNECTION INTO EXISTING MANHOLE  
EX. TOP: 1210.98  
EX. INV. IN: 1206.63  
PROP. INV. IN: 1206.8  
EX. INV. OUT: 1206.43

**NOTE:**  
\*CONTRACTOR TO VERIFY LOCATION/INVERTS PRIOR TO ORDERING MATERIALS.  
\*CONTRACTOR TO CORE DRILL THE NECESSARY OPENING, INSTALL A FLEXIBLE BOOT, AND REWORK CHANNEL INVERTS AS NEEDED (SEE DETAIL D7.03).  
\*MANHOLE CONDITION TO BE CONFIRMED WITH MSD AND REPLACED AS NEEDED.



188 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 452-4410  
FAX (828) 252-5388

62 WALNUT STREET - SUITE 9  
WAINESVILLE, NC 28786  
PHONE (828) 452-4410  
FAX (828) 452-4410

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com

NCBELS LICENSE #: C-2184

NO.	DATE	DESCRIPTION	BY
4	12/12/22	NCDEQ SEWER FAST TRACK SUBMITTAL	MFK
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK
6	08/21/23	LAYOUT REVISIONS	USD
7	09/22/23	LAYOUT, STORM, AND GRADING REVISION	USD

**FOR REVIEW ONLY**

PROFESSIONAL SEAL  
DAVID BRAUN  
P.E. 12185

SEWER PLAN FOR:  
**LAKE LURE SENIOR LIVING FACILITY**  
RUTHERFORD IL PROPCO LLC - LAKE LURE, NORTH CAROLINA

**811** Know what's below. Call before you dig.

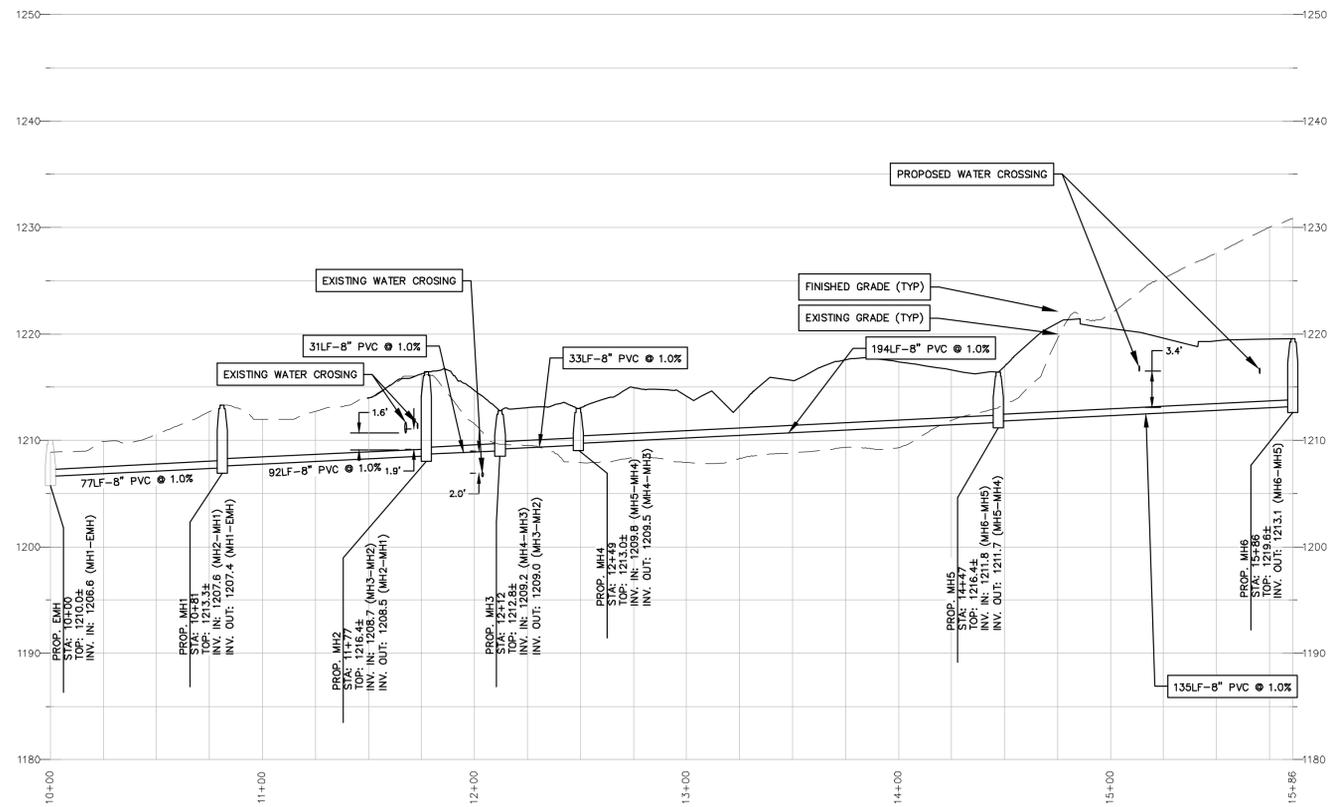
**SEWER PLAN**

GRAPHIC SCALE  
1 inch = 40 ft.

SHEET  
**C701**

DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NCDEQ EC NO.: RUTHE-2023-007  
XXX PERMIT NO. xxx

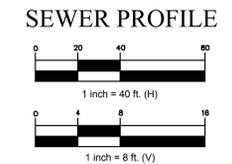
TAX PARCEL: 1655056  
PIN: 0653-55-2304  
PERO SAINOVSKI  
GRADYNA SAINOVSKI  
08/20/17 PG 1/286  
PG 25 PG 62



SEWER PROFILE

**NOTE:**  
 THE PIPE LENGTHS, SLOPES, AND INVERTS SHOWN IN THE ABOVE PROFILES ARE BASED ON A 2D LENGTH AND MEASURED FROM INSIDE WALL TO INSIDE WALL OF STRUCTURES. CONTRACTOR SHALL VERIFY ALL INVERTS AND LINE LENGTHS PRIOR TO CONSTRUCTION.

**811**  
 Know what's below.  
 Call before you dig.

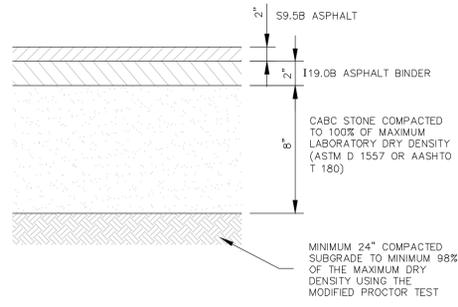


NO.	DATE	DESCRIPTION	BY
4	12/12/22	NCDEQ SEWER FAST TRACK SUBMITTAL	MFK
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK
8	08/21/25	LAYOUT REVISIONS	USD
9	09/22/25	LAYOUT, STORM, AND GRADING REVISION	JSD

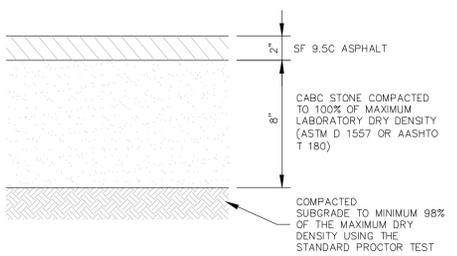


**FOR REVIEW ONLY**

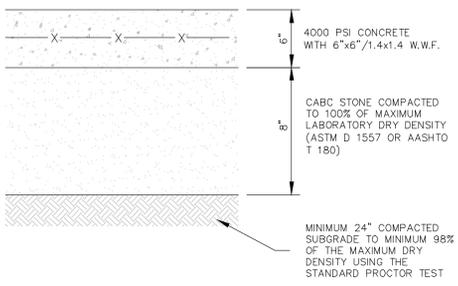
SEWER PROFILE FOR:  
**LAKE LURE SENIOR LIVING FACILITY**  
 RUTHERFORD IL PROPCO LLC - LAKE LURE, NORTH CAROLINA



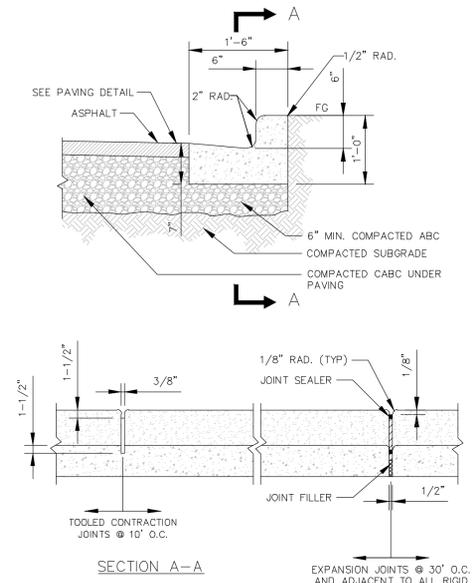
**D2.01 TYPICAL HEAVY DUTY PAVEMENT CROSS SECTION**  
NOT TO SCALE



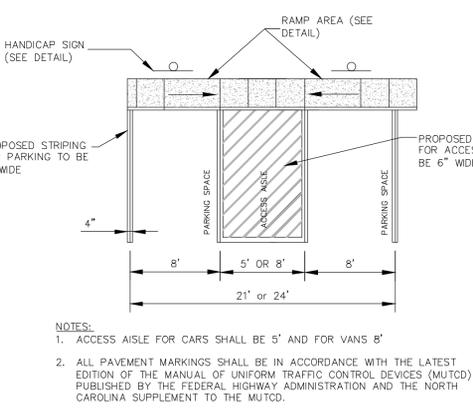
**D2.02 TYPICAL LIGHT DUTY PAVEMENT CROSS SECTION**  
NOT TO SCALE



**D2.03 TYPICAL HEAVY DUTY CONCRETE CROSS SECTION**  
NOT TO SCALE

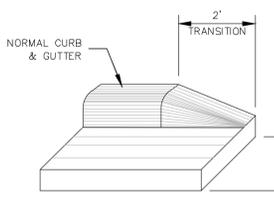


**D2.04 CONCRETE CURB & GUTTER (18") DETAIL**  
NOT TO SCALE

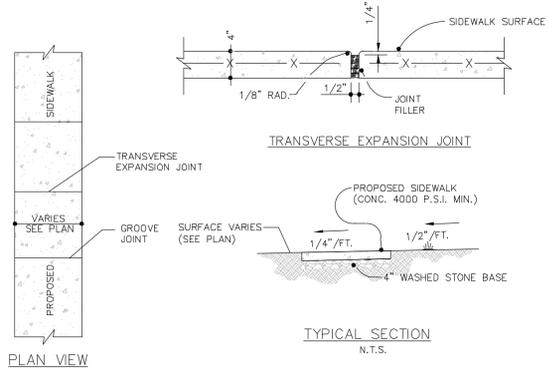


- CONSTRUCTION NOTES:**
1. CURB SHALL BE CONSTRUCTED WITH 4000 PSI CONCRETE
  2. SURFACE SHALL BE GIVEN A LIGHT BROOM FINISH WITH THE BRUSH MARKS PARALLEL TO THE CURB.
  3. SUB-GRADE SHALL BE COMPACTED TO 98% OF STANDARD PROCTOR TEST
  4. CABC SHALL BE COMPACTED TO 100% OF STANDARD PROCTOR TEST

**D2.05 SPILLOUT CURB & GUTTER (18") DETAIL**  
NOT TO SCALE

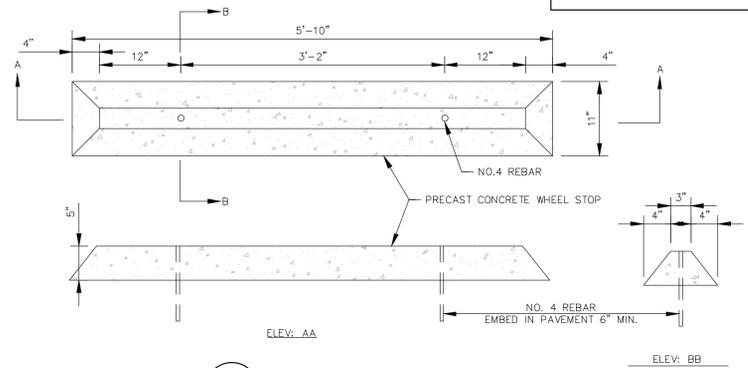


**D2.06 CURB & GUTTER END TREATMENT**  
NOT TO SCALE

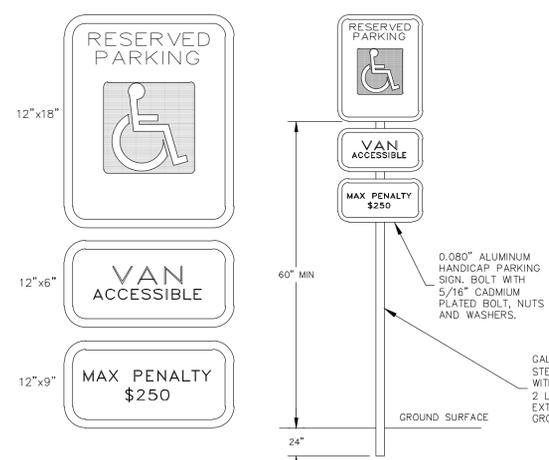


- NOTES:**
1. TRANSVERSE EXPANSION JOINTS TO BE A MAXIMUM OF 40 FEET.
  2. ALL CONCRETE TO BE FINISHED WITH CURING COMPOUND.
  3. A GROOVE JOINT 1" DEEP WITH 1/3" RADIUS SHALL BE REQUIRED IN THE CONCRETE SIDEWALK AT 5' INTERVALS. ONE 1/2" EXPANSION JOINT WILL BE REQUIRED AT 40' INTERVALS. A 1/2" EXPANSION JOINT WILL BE REQUIRED WHERE THE SIDEWALK JOINS ANY RIGID STRUCTURE.
  4. 6"x6"/1.4x1.4 W.W.F. REQUIRED IN ALL SIDEWALKS.

**D2.07 SIDEWALK DETAIL**  
NOT TO SCALE



**D2.10 WHEEL STOP DETAIL**  
NOT TO SCALE



- NOTES:**
1. RESERVED PARKING SIGN SHALL INCLUDE A WHITE WHEELCHAIR SYMBOL ON A BLUE SQUARE.
  2. SIGNS SHALL HAVE A GREEN LEGEND AND BORDER ON A WHITE BACKGROUND.
  3. SIGNS IDENTIFYING VAN PARKING SPACES SHALL CONTAIN THE DESIGNATION "VAN ACCESSIBLE".
  4. ALL SIGNS AND STRIPING SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.

**D2.09 ACCESSIBLE PARKING SPACE SIGN**  
NOT TO SCALE

**D2.08 STRIPING AND HANDICAP PARKING DETAIL**  
NOT TO SCALE



- NOTES:**
1. ACCESS AISLE FOR CARS SHALL BE 5' AND FOR VANS 8'
  2. ALL PAVEMENT MARKINGS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.

**CDC** Civil Design Concepts, PA

168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 432-4410  
FAX (828) 282-5885

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28776  
PHONE (828) 432-4410  
FAX (828) 432-4455

www.civildesignconcepts.com

NCBELS LICENSE #: C-2164

NO.	DATE	DESCRIPTION	BY
1	10/04/22	INITIAL NDCO EC SUBMITTAL	MFK
2	11/16/22	NDCO EC RESUBMITTAL	MFK
3	12/05/22	NDCO EC LON W/ MODIFICATIONS RESUBMITTAL	MFK
4	12/12/22	NDCO SEWER FAST TRACK SUBMITTAL	MFK
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK

**FOR REVIEW ONLY**

NORTH CAROLINA PROFESSIONAL SEAL 03069 DIVISION 2215

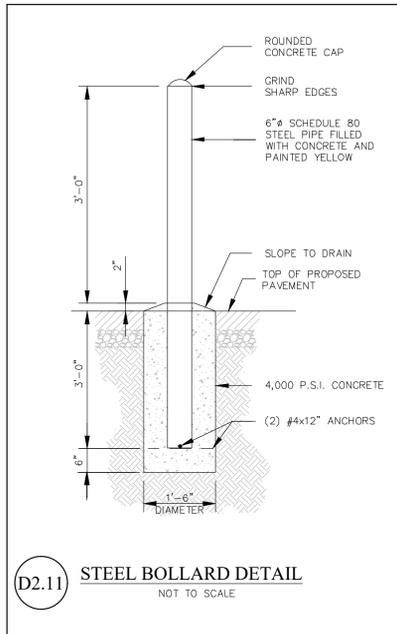
**LAKE LURE SENIOR LIVING FACILITY**

RUTHERFORD, IL PROPCO LLC - LAKE LURE, NORTH CAROLINA

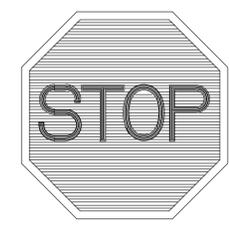
DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NDCO EC NO.: RUTHE-2023-007  
XXX PERMIT NO. xxx

SHEET  
**C921**

SITE DETAILS

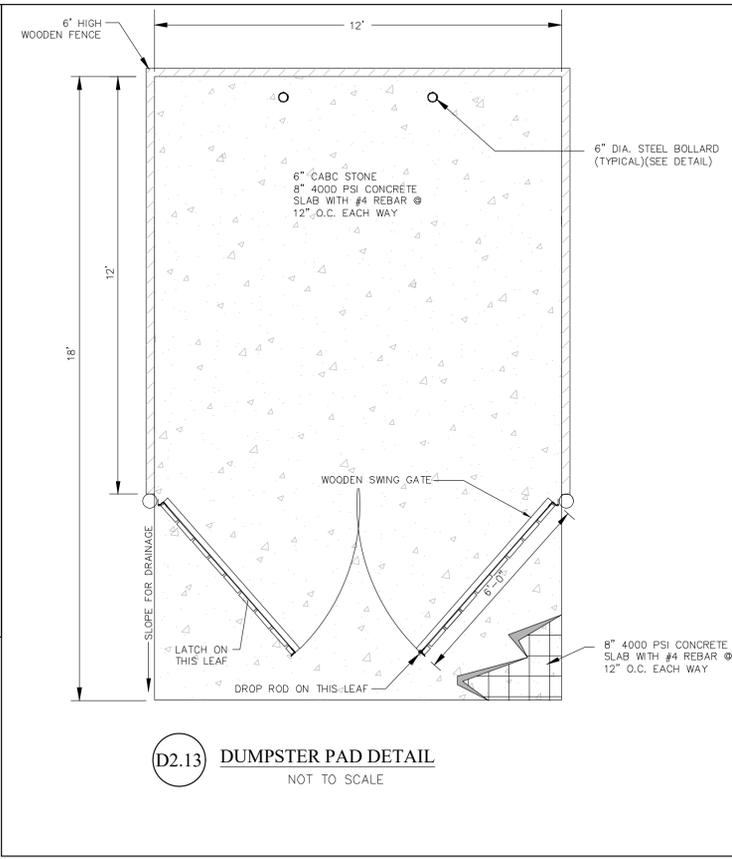


**D2.11 STEEL BOLLARD DETAIL**  
NOT TO SCALE

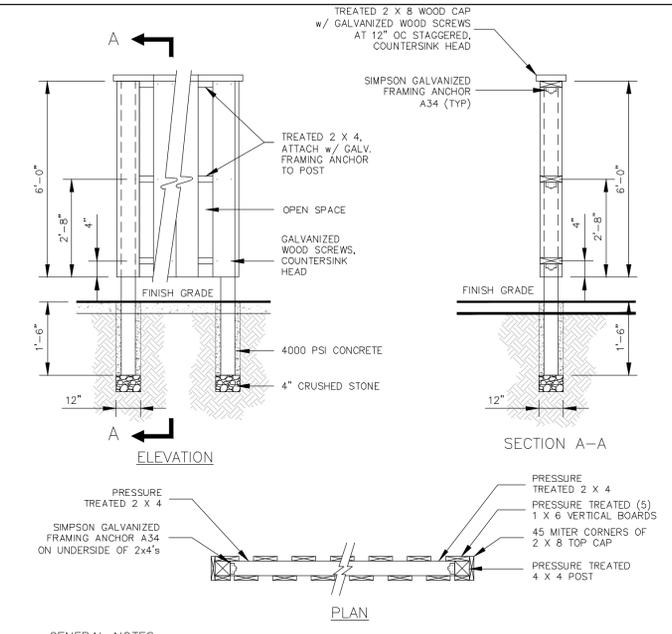


**NOTES:**  
1. SIGN SHALL HAVE WHITE LETTERS ON A RED REFLECTIVE BACKGROUND.  
2. ALL SIGNS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION AND THE NORTH CAROLINA SUPPLEMENT TO THE MUTCD.

**D2.12 STOP SIGN DETAIL**  
NOT TO SCALE

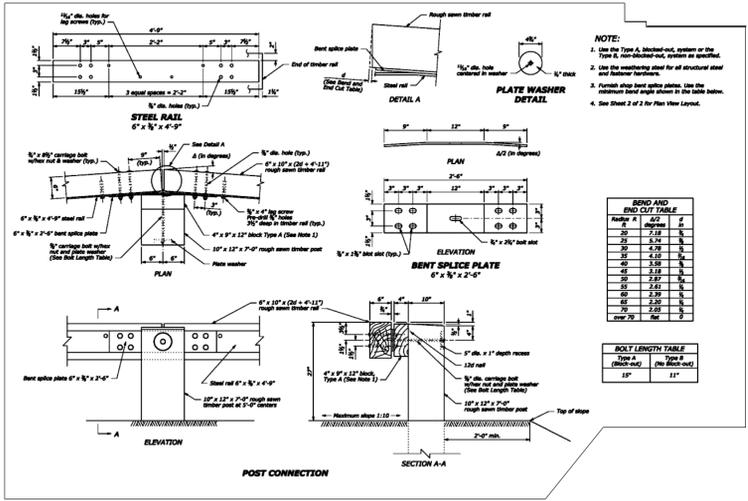


**D2.13 DUMPSTER PAD DETAIL**  
NOT TO SCALE

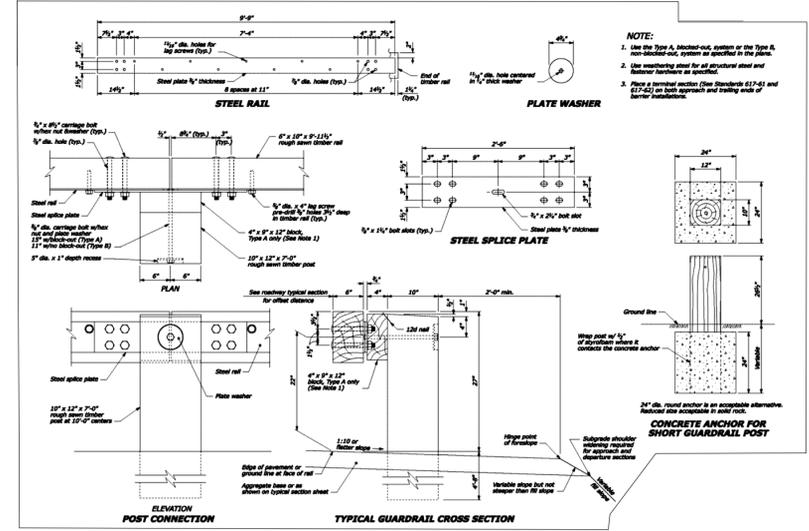


**GENERAL NOTES:**  
1. PRESERVATIVE PRESURE TREAT LUMBER WITH WATER-BORNE PRESERVATIVES TO COMPLY WITH AWPAC C2 AND C9, RESPECTIVELY, AND WITH REQUIREMENTS INDICATED BELOW.  
A. PRESURE-TREAT ABOVE-GROUND ITEMS WITH WATER-BORNE PRESERVATIVES TO A MINIMUM RETENTION OF 0.25 PCF.  
B. PRESURE-TREAT WOOD MEMBERS IN CONTACT WITH THE GROUND WITH WATER-BORNE PRESERVATIVES TO A MINIMUM RETENTION OF 0.40 PCF.  
2. FASTENERS: OF SIZE AND TYPE INDICATED THAT COMPLY WITH THE FOLLOWING REQUIREMENTS. PROVIDE HOT-DIP ZINC-COATED FASTENERS PER ASTM A 153 OR AISI TYPE 304 STAINLESS STEEL FASTENERS.

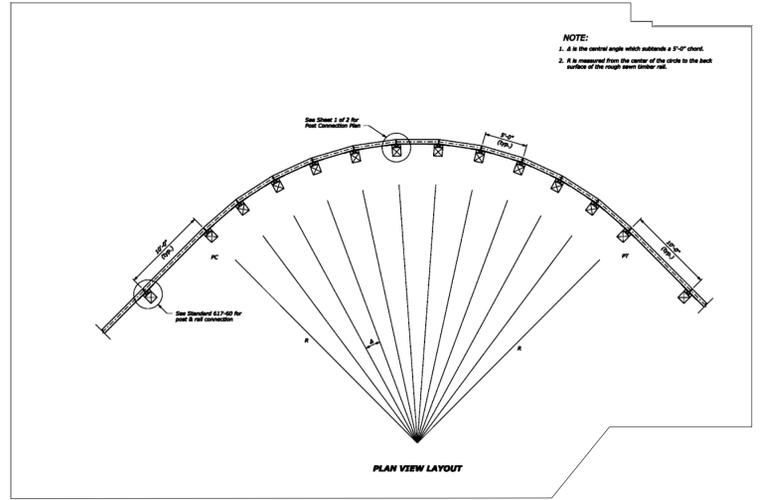
**D2.14 DUMPSTER FENCE DETAIL**  
NOT TO SCALE



**D2.15 STEEL-BACKED TIMBER GUARDRAIL AROUND CIRCULAR CURVES 70 FOOT RADIUS AND BELOW (1 OF 2)**  
NOT TO SCALE

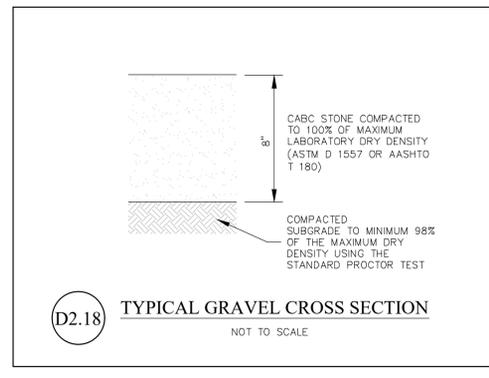
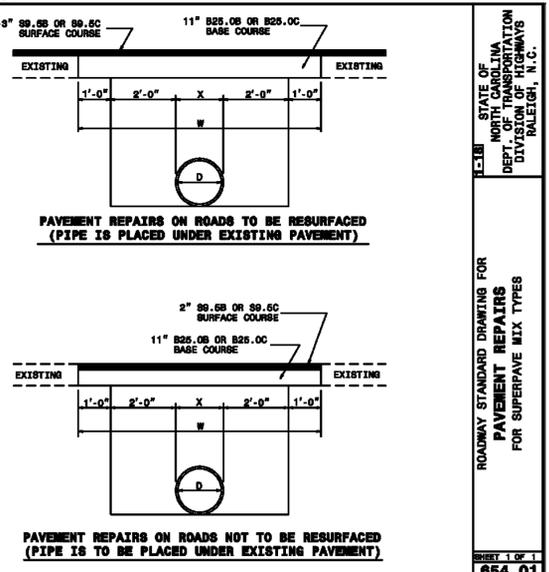


**D2.16 STEEL-BACKED TIMBER GUARDRAIL TYPE A & TYPE B**  
NOT TO SCALE



**D2.17 STEEL-BACKED TIMBER GUARDRAIL AROUND CIRCULAR CURVES 70 FOOT RADIUS AND BELOW (2 OF 2)**

D	X	W
12"	1'-4"	7'-4"
16"	1'-7"	7'-7"
18"	1'-10"	7'-10"
24"	2'-0"	8'-8"
30"	3'-1"	9'-1"
36"	3'-8"	9'-8"
42"	4'-5"	10'-5"
48"	5'-0"	11'-0"



**D2.18 TYPICAL GRAVEL CROSS SECTION**  
NOT TO SCALE

168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 432-4410  
FAX (828) 282-5885

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28776  
PHONE (828) 432-4410  
FAX (828) 432-5885

**CDC** Civil Design Concepts, PA  
www.civildesignconcepts.com

NCBELS LICENSE #: C-2164

NO.	DATE	DESCRIPTION	BY
1	10/04/22	INITIAL NDCO EC SUBMITTAL	MFK
2	11/16/22	NDCO EC RESUBMITTAL	MFK
3	12/05/22	NDCO EC LOA W/ MODIFICATIONS RESUBMITTAL	MFK
4	12/12/22	NDCO SEMER FAST TRACK SUBMITTAL	MFK
	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK

FOR REVIEW ONLY

DAVID BRANNON, P.E., 02155

LAKE LURE SENIOR LIVING FACILITY

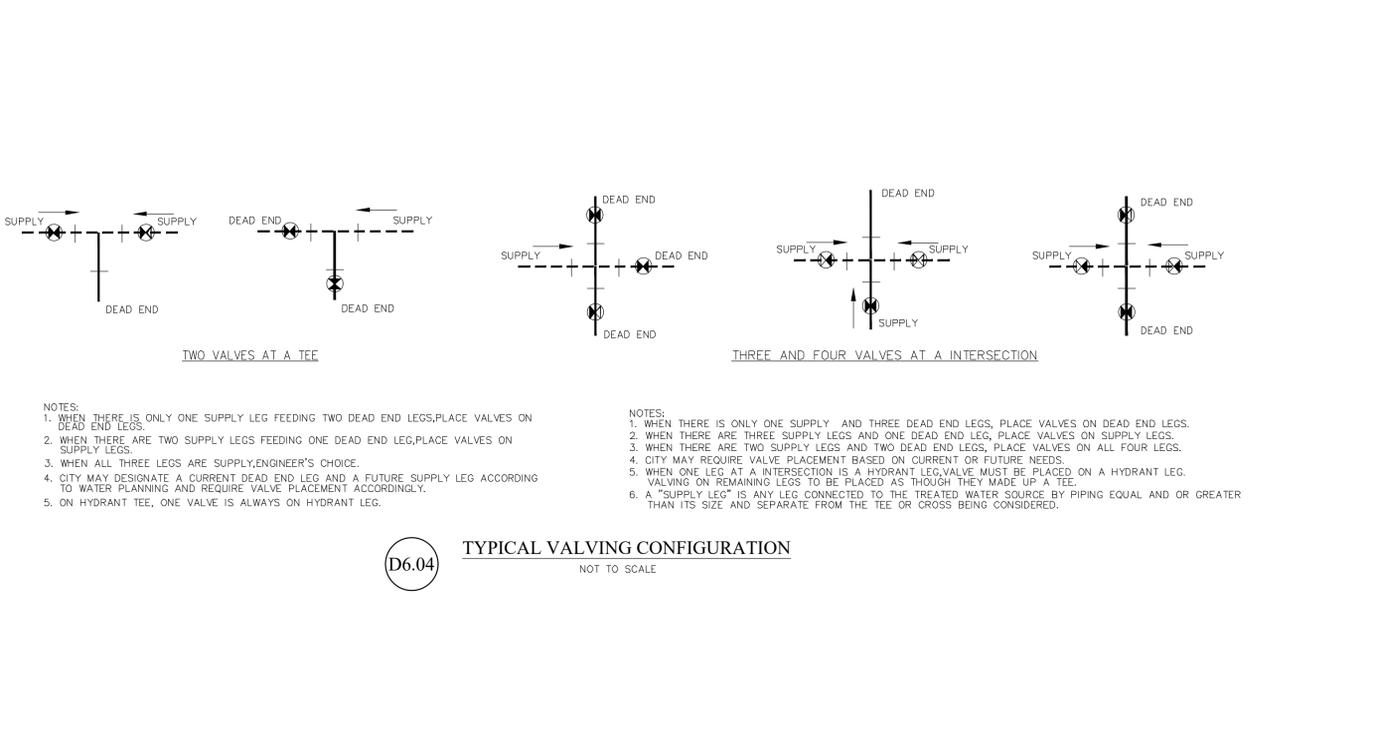
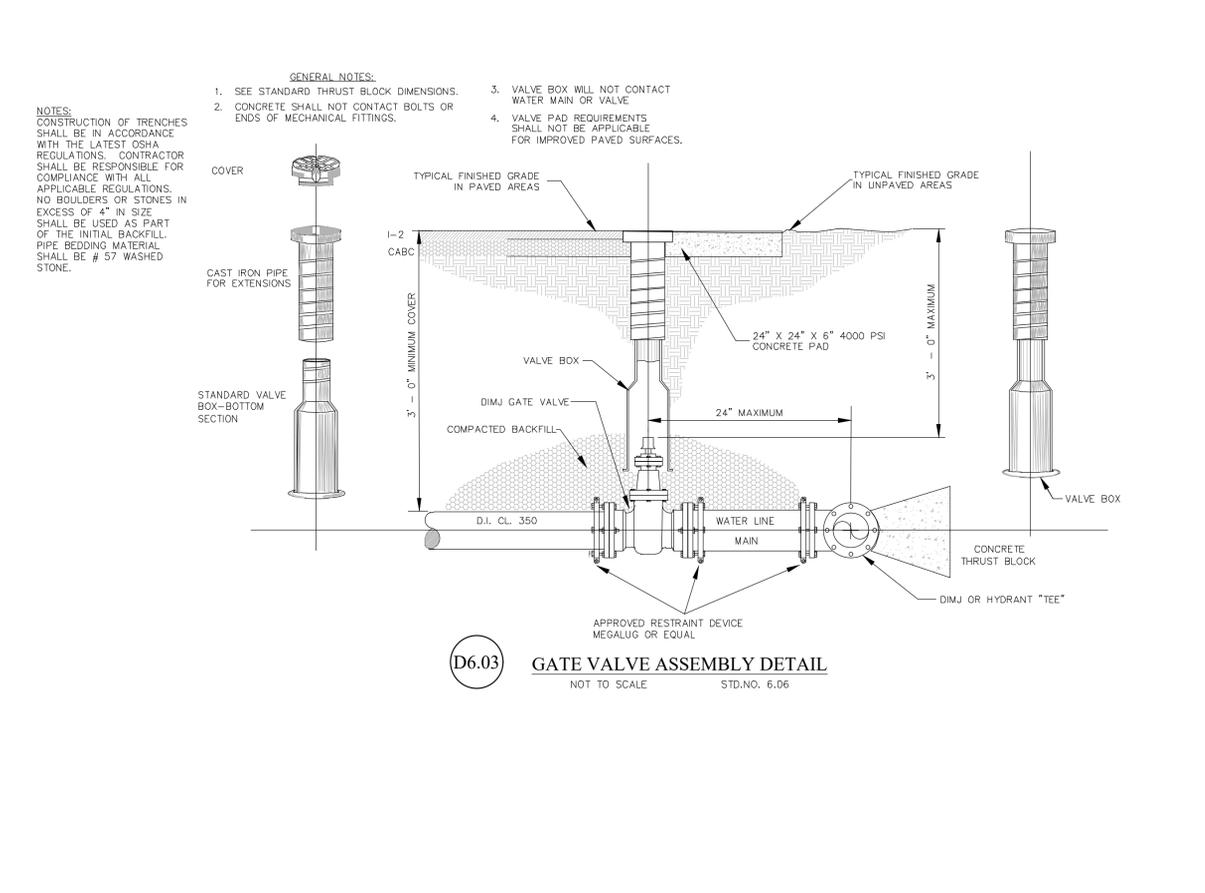
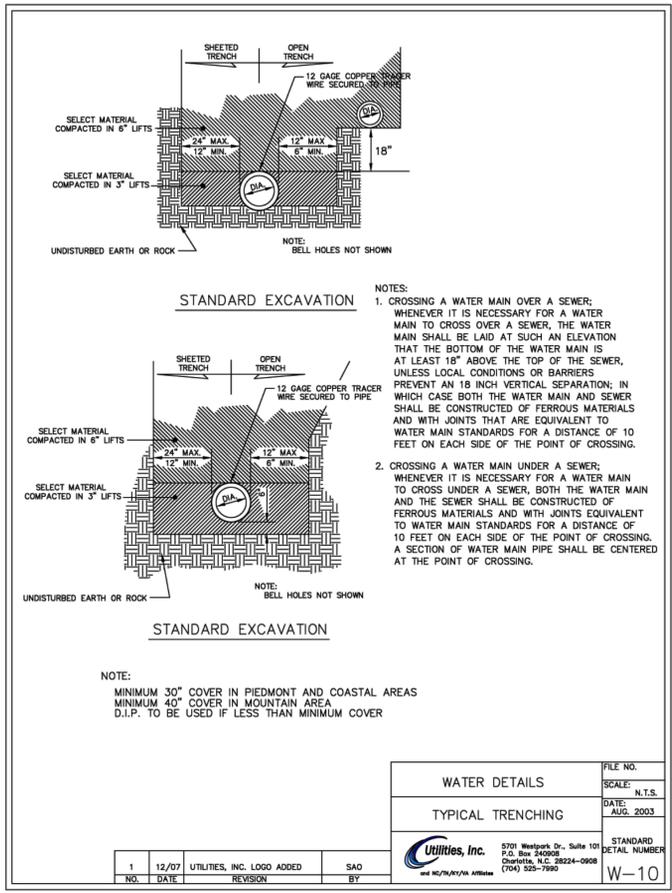
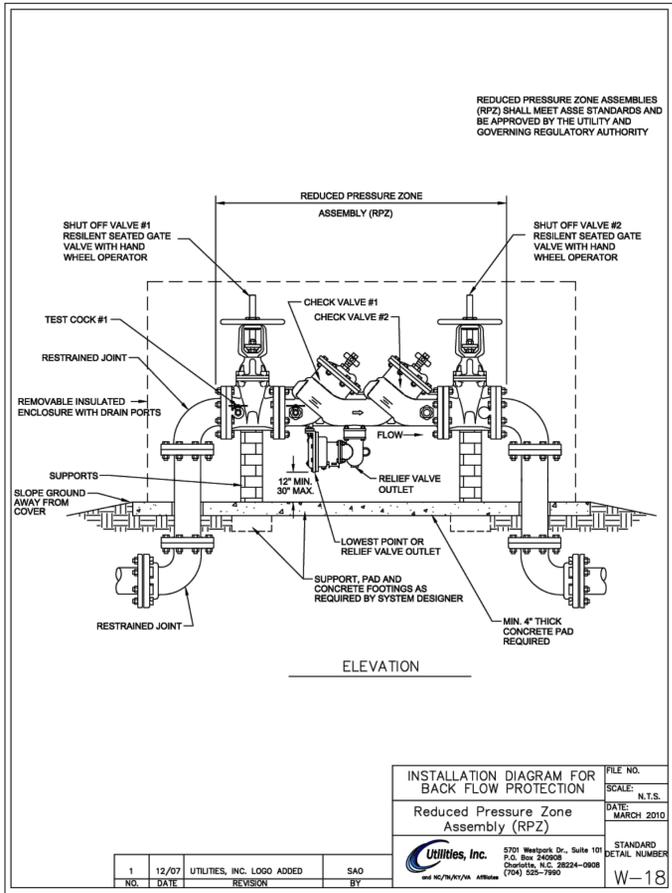
RUTHERFORD, IL PROPCO, LLC - LAKE LURE, NORTH CAROLINA

SITE DETAILS FOR:

DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NDCO EC NO.: RUTHIE-2023-007  
XXX PERMIT NO. xxx

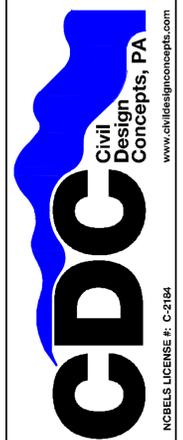
SHEET  
**C922**





168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 432-4410  
FAX (828) 292-5885

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28786  
PHONE (828) 432-4410  
FAX (828) 292-5885



NO.	DATE	DESCRIPTION	BY
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK



FOR REVIEW ONLY

WATER DETAILS FOR:

LAKE LURE SENIOR LIVING FACILITY

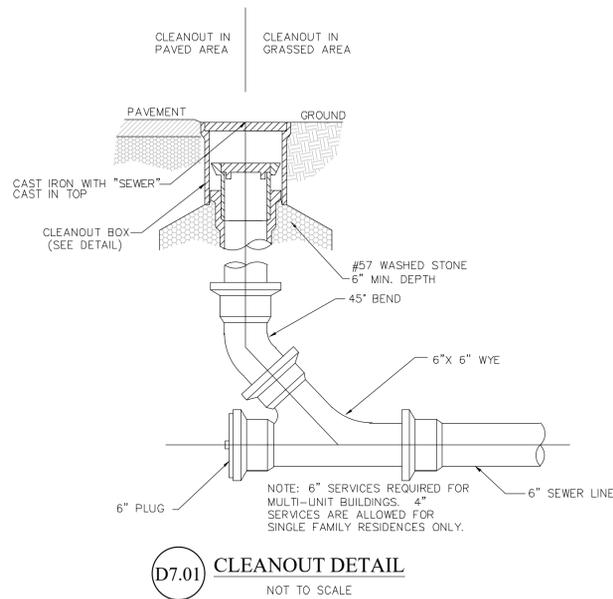
RUTHERFORD, IL PROPCO, LLC - LAKE LURE, NORTH CAROLINA

DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NCDEQ EC NO.: RUTHE-2023-007  
XXX PERMIT NO. xxx

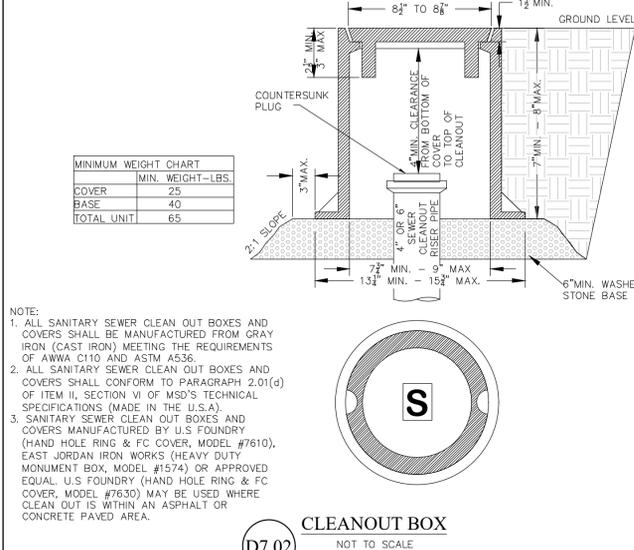
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C962

WATER DETAILS



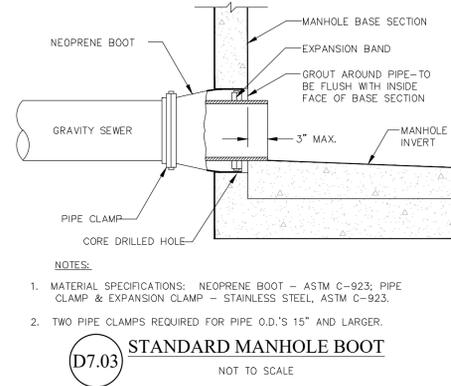
**D7.01 CLEANOUT DETAIL**  
NOT TO SCALE



MINIMUM WEIGHT CHART	
MIN. WEIGHT-LBS.	
COVER	25
BASE	40
TOTAL UNIT	65

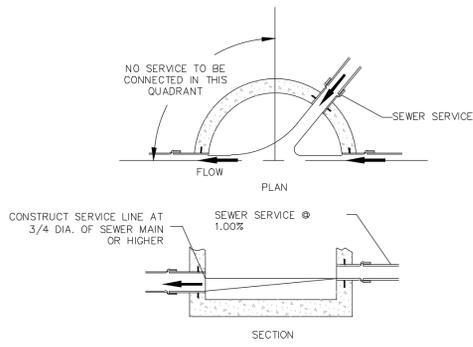
NOTE:  
1. ALL SANITARY SEWER CLEAN OUT BOXES AND COVERS SHALL BE MANUFACTURED FROM GRAY IRON (CAST IRON) MEETING THE REQUIREMENTS OF AWWA C110 AND ASTM A536.  
2. ALL SANITARY SEWER CLEAN OUT BOXES AND COVERS SHALL CONFORM TO PARAGRAPH 2.01(d) OF ITEM II, SECTION VI OF MSD'S TECHNICAL SPECIFICATIONS (MADE IN THE U.S.A.).  
3. SANITARY SEWER CLEAN OUT BOXES AND COVERS MANUFACTURED BY U.S. FOUNDRY (HAND HOLE RING & FC COVER, MODEL #7610), EAST JORDAN IRON WORKS (HEAVY DUTY MONUMENT BOX, MODEL #1574) OR APPROVED EQUAL, U.S. FOUNDRY (HAND HOLE RING & FC COVER, MODEL #7630) MAY BE USED WHERE CLEAN OUT IS WITHIN AN ASPHALT OR CONCRETE PAVED AREA.

**D7.02 CLEANOUT BOX**  
NOT TO SCALE

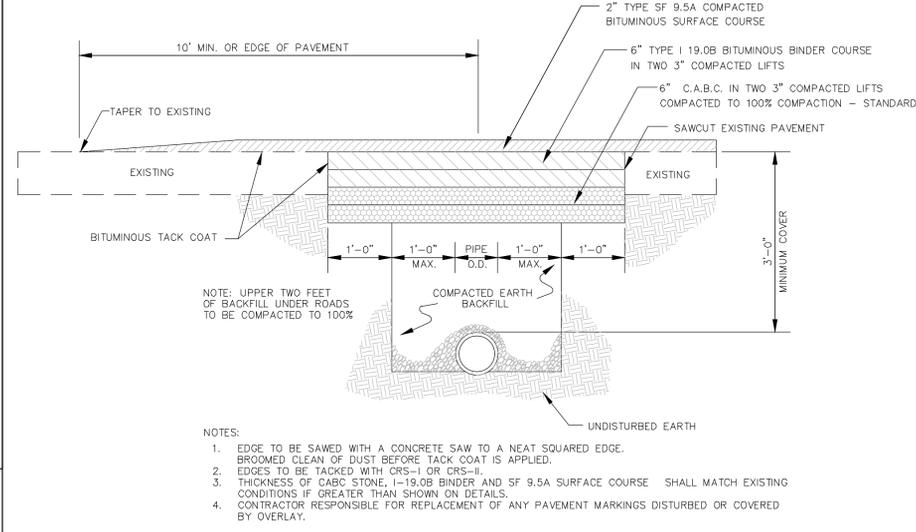


NOTES:  
1. MATERIAL SPECIFICATIONS: NEOPRENE BOOT - ASTM C-923; PIPE CLAMP & EXPANSION CLAMP - STAINLESS STEEL, ASTM C-923.  
2. TWO PIPE CLAMPS REQUIRED FOR PIPE O.D.'S 15\"/>

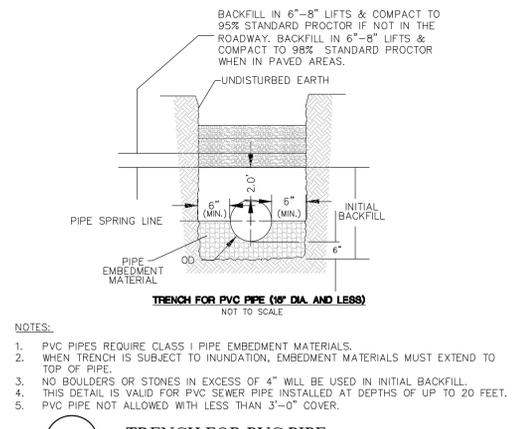
**D7.03 STANDARD MANHOLE BOOT**  
NOT TO SCALE



**D7.04 SERVICE CONNECTIONS AT MANHOLES**  
NOT TO SCALE



**D7.05 TYPICAL PAVEMENT REPAIRS - NCDOT ROADS**  
NOT TO SCALE



NOTES:  
1. PVC PIPES REQUIRE CLASS I PIPE EMBEDMENT MATERIALS.  
2. WHEN TRENCH IS SUBJECT TO INUNDATION, EMBEDMENT MATERIALS MUST EXTEND TO TOP OF PIPE.  
3. NO BOULDERS OR STONES IN EXCESS OF 4\"/>

**D7.06 TRENCH FOR PVC PIPE**  
NOT TO SCALE

**GENERAL NOTES FOR SEWER**

- SEWER CONSTRUCTION ON THIS SITE MUST BE AUTHORIZED BY PERMITS ISSUED BY THE CAROLINA WATER SERVICE OF NORTH CAROLINA AND THE TOWN OF LAKE LURE. ALL STEWORK SHALL BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND NATIONAL REGULATORY STANDARDS; AND ALL REQUIREMENTS IN THE PROJECT TECHNICAL SPECIFICATIONS, REQUIREMENTS AND SPECIFICATIONS OF CAROLINA WATER SERVICE OF NORTH CAROLINA AND THE TOWN OF LAKE LURE STANDARDS SUPSEDEE ALL OTHERS IN THE INSTALLATION OF THE PROPOSED SEWER EXTENSION.
- CONTRACTOR TO VERIFY WITH ENGINEER THAT THE REQUIRED SEWER PERMITS AND ASSOCIATED NON-SEWER PERMITS HAVE BEEN OBTAINED PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR TO PROVIDE COPY OF STREET CUT PERMIT TO CAROLINA WATER SERVICE OF NORTH CAROLINA AND THE TOWN OF LAKE LURE PRIOR TO CONSTRUCTION.
- ALL CONSTRUCTION SHALL BE UNDER THE INSPECTION OF THE ENGINEER. THE OWNER, CAROLINA WATER SERVICE OF NORTH CAROLINA AND THE TOWN OF LAKE LURE. THE ENGINEER SHALL PERIODICALLY INSPECT THE PROGRESS OF INSTALLATION AND SHALL COMPLETE A FINAL WATER AND SEWER INSPECTION. THE CONTRACTOR SHALL FURNISH, SECURE, AND PROVIDE ALL NECESSARY TESTING MATERIALS, EQUIPMENT, PROCEDURES, AND CERTIFIED LABORATORY TEST RESULTS FOR USE WITH ENGINEER'S FINAL CERTIFICATION OF COMPLETION. ANY WORK COVERED PRIOR TO ENGINEER'S INSPECTION IS SUBJECT TO UNCOVERING AND BACKFILLING AT THE CONTRACTOR'S EXPENSE.
- ALL WORK MUST BE PERFORMED BY A NORTH CAROLINA LICENSED UTILITY CONTRACTOR.
- CONTRACTOR IS RESPONSIBLE FOR LOCATING AND VERIFYING THE EXACT LOCATION AND ELEVATION FOR ALL UTILITIES PRIOR TO CONSTRUCTION; AND TO NOTIFY ENGINEER OF ANY CONFLICTS OR DISCREPANCIES. THE LOCATION OF SOME UTILITIES SHOWN ON THE PLANS HAVE BEEN APPROXIMATED. ALL BURIED UTILITIES HAVE NOT BEEN SHOWN ON THE PLANS AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE THEIR LOCATION PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT EXISTING AND NEWLY BUILT UTILITIES DURING CONSTRUCTION. ANY DAMAGE TO UTILITIES INCURRED DURING OR RESULTING FROM CONSTRUCTION ACTIVITY IS THE RESPONSIBILITY OF THE CONTRACTOR AND IS TO BE REPAIRED IN ACCORDANCE WITH APPLICABLE STANDARDS OF APPROPRIATE AGENCIES AT THE CONTRACTOR'S EXPENSE.
- THE CONTRACTOR IS TO NOTIFY ALL UTILITY COMPANIES AT LEAST 72 HOURS BEFORE CONSTRUCTION ACTIVITY IS TO BEGIN. THE CONTRACTOR SHALL NOTIFY ULOCO AT 1-800-632-4949 OR 811, 72 HOURS BEFORE CONSTRUCTION BEGINS. NOTIFY THE ENGINEER AT LEAST 72 HOURS BEFORE STARTING CONSTRUCTION ACTIVITIES.
- EROSION CONTROL IS FIELD PERFORMANCE BASED AND CONTRACTOR SHALL INSTALL AND MAINTAIN ANY EROSION CONTROL MEASURES NECESSARY TO ASSURE MAXIMUM PROTECTION OF THE SITE. CONTRACTOR IS RESPONSIBLE FOR EROSION CONTROL MEASURES REQUIRED TO CONTROL SEDIMENT DURING INSTALLATION ALL SEWER PIPES AND APPURTENANCES.
- SAFETY AND TRAFFIC ROUTING TO BE COORDINATED WITH CAROLINA WATER SERVICE OF NORTH CAROLINA AND THE TOWN OF LAKE LURE AND IN STRICT ACCORDANCE WITH NCDOT GUIDELINES FOR CONSTRUCTION, MAINTENANCE, AND UTILITY OPERATIONS.
- ALL SEWER SERVICES SHALL BE CONSTRUCTED IN ACCORDANCE WITH NC PLUMBING CODES AND ANY REQUIREMENTS PER LOCAL AUTHORITIES. COORDINATE EXACT LOCATIONS OF SERVICE LINES WITH THE ARCHITECTURAL, PLUMBING, AND LANDSCAPING PLANS. SEWER CLEANOUT ASSEMBLY LOCATIONS SHOWN ARE APPROXIMATE AND ARE SUBJECT TO FINAL VERIFICATION.
- ALL NON-FERROUS UNDERGROUND SERVICE LINES OUTSIDE BUILDING FOOTPRINT SHALL BE REQUIRED TO HAVE A MAGNETIC- TYPE WARNING TAPE INSTALLED IN THE BACKFILL AT LEAST 6\"/>

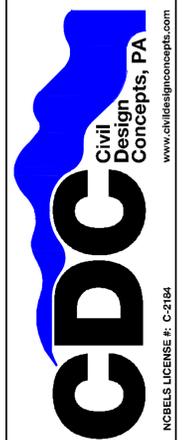
FOR REVIEW ONLY

NO.	DATE	DESCRIPTION	BY
4	12/12/23	NCDOT SEWER FAST TRACK SUBMITTAL	MFK
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK



168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 252-5886  
FAX (828) 252-5886

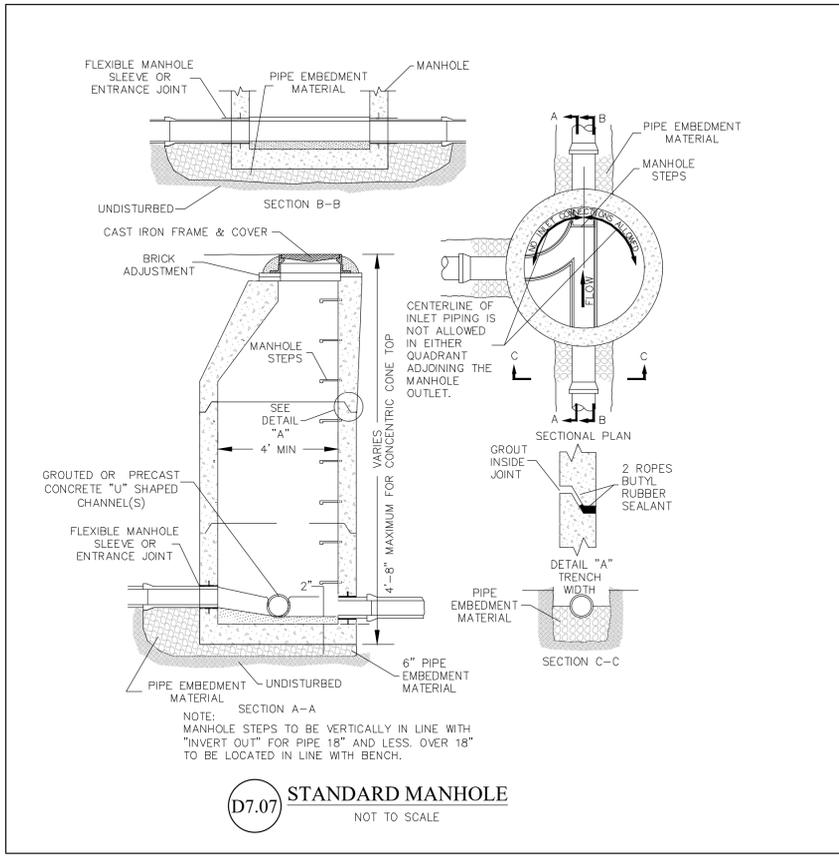
52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 28786  
PHONE (828) 452-4410  
FAX (828) 452-4455



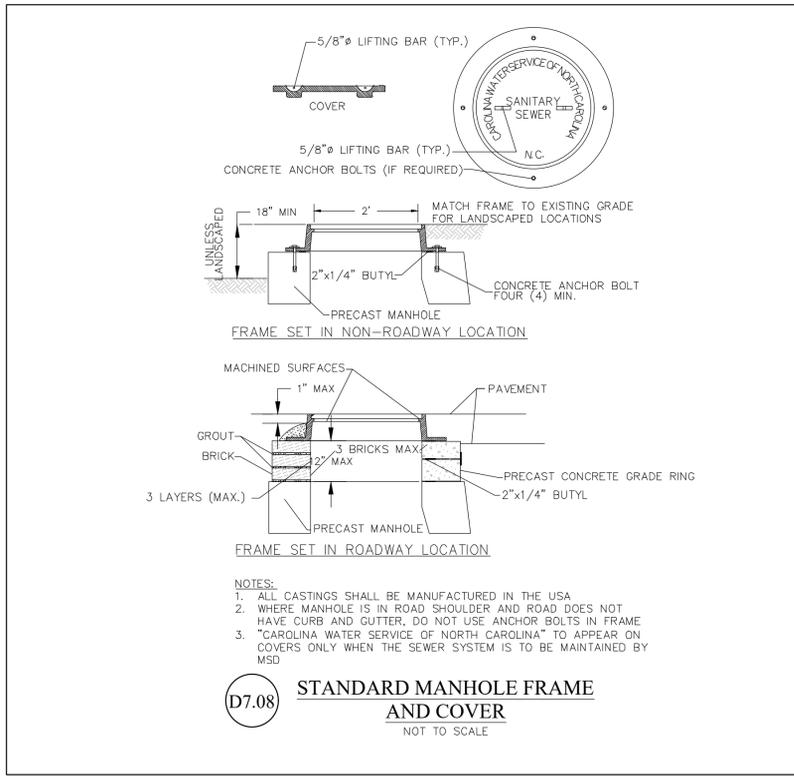
SEWER DETAILS FOR:  
**LAKE LURE SENIOR LIVING FACILITY**  
RUTHERFORD, IL PROPCO LLC - LAKE LURE, NORTH CAROLINA

DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NCDOT EC NO.: RUTHE-2023-007  
XXX PERMIT NO. xxx

SHEET  
**C971**



**D7.07 STANDARD MANHOLE**  
NOT TO SCALE



**D7.08 STANDARD MANHOLE FRAME AND COVER**  
NOT TO SCALE

**SPECIFICATIONS**

- Notes:
- 4" FPT inlet/outlet with 4" plain end adapters, single inlet and triple outlet.
  - Unit weight - w/ cast iron covers: 376 lbs. (For wet weight add 2,310 lbs.)
  - Maximum operating temperature: 150° F continuous
  - Capacities - Liquid: 277 gal.; Grease: 1,895 lbs. (260 gal.) @100GPM Grease: 1,196 lbs. (164 gal.) @200GPM Solids: 69 gal.
  - This unit does not require flow control for 100 GPM applications. Built-in flow control is provided for 200 GPM applications. For series installations, only install flow control on the first unit in the series if necessary.
  - For gravity drainage applications only.
  - Do not use for pressure applications.
  - Cover placement allows full access to tank for proper maintenance.
  - Vent not required unless per local code.
  - Engineered inlet and outlet diffusers with inspection ports are removable to inspect / clean piping.
  - Integral air relief / Anti-siphon / Sampling access.
  - Adjustable cover adapters provide up to 4" of additional height.
  - Designed for below-grade, above-grade, indoor or outdoor installations.
  - Safety Star®, access restrictor built into each cover adapter, prevents accidental entry to tanks (450 lb rating).

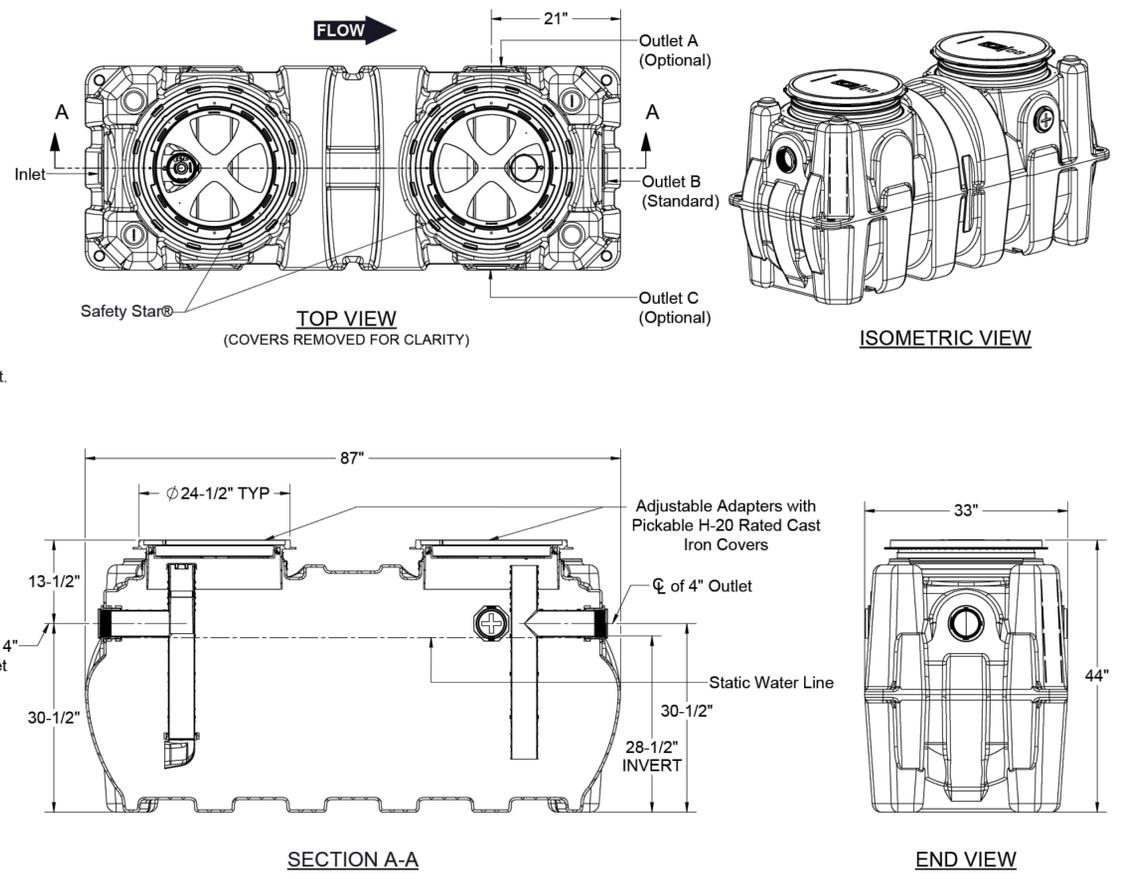
**ENGINEER SPECIFICATION GUIDE**  
Schier Great Basin™ grease interceptor model # GB-250 shall be lifetime guaranteed and made in USA of seamless, rotationally-molded polyethylene with minimum 3/8" uniform wall thickness. Interceptor shall be furnished for above or below-grade installation with adjustable cover adapters, Safety Star® access restrictor built into each cover adapter, built-in flow control (for 200 GPM only) and three outlet options. Interceptor shall be certified to ASME A112.14.3 (Type D for 100 GPM, type C for 200 GPM) and CSA B481.1. Interceptor flow rate shall be 100 GPM or 200 GPM. Interceptor grease capacity shall be 1,895 lbs. @ 100 GPM or 1,196 lbs. @ 200 GPM. Cover shall provide water/gas-tight seal and have minimum 16,000 lbs. load capacity.

**CERTIFIED PERFORMANCE**  
Great Basin™ hydromechanical grease interceptors are third party performance-tested and listed by IAPMO to ASME #A112.14.3 and CSA B481.1 grease interceptor standards and greatly exceed requirements for grease separation and storage. They are compliant to the Uniform Plumbing Code and the International Plumbing Code.

Type D certification does not require a flow control

**SPECIFICATION SHEET**

<b>MODEL NUMBER:</b>	<b>PART NUMBER:</b> 4055-007-02
<b>GB-250</b>	<b>DESCRIPTION:</b> GB-250 GREASE INTERCEPTOR 100 GPM / 200 GPM, 4" INLET/OUTLET, H-20 RATED CAST IRON COVERS
<small>PROPRIETARY AND CONFIDENTIAL</small>	
<small>THE INFORMATION CONTAINED IN THIS DRAWING IS THE SOLE PROPERTY OF SCHIER PRODUCTS. ANY REPRODUCTION IN PART OR AS A WHOLE WITHOUT THE WRITTEN PERMISSION OF SCHIER PRODUCTS IS PROHIBITED.</small>	
<b>DWG BY:</b> C.SINCLAIR	<b>DATE:</b> 5/4/2022
<b>REV:</b> -	<b>ECO:</b> -



**SCHIER**

6455 Woodland Dr  
Shawnee, KS 66218  
Tel: 913-951-3300  
Fax: 913-951-3399  
schierproducts.com

168 PATTON AVENUE  
ASHEVILLE, NC 28801  
PHONE (828) 432-4410  
FAX (828) 252-5886

52 WALNUT STREET - SUITE 9  
WAYNESVILLE, NC 27786  
PHONE (828) 432-4410  
FAX (828) 432-5886

www.civildesignconcepts.com

NCBELS LICENSE # C-2164

NO.	DATE	DESCRIPTION	BY
4	12/12/22	NCDEQ SEWER FAST TRACK SUBMITTAL	MFK
5	02/24/23	ADDRESSED CLIENT REVIEW COMMENTS	MFK

**LAKE LURE SENIOR LIVING FACILITY**

RUTHERFORD, IL PROPCO, LLC - LAKE LURE, NORTH CAROLINA

SEWER DETAILS FOR:

DRAWN BY: MFK  
CDC PROJECT NO.: 22175  
NCDEQ EC NO.: RUTHIE-2023-007  
XXX PERMIT NO. xxx

SHEET

**C972**

**E.  
Consider Adoption of Resolution No.  
26-03-10B Accepting Emergency  
Management Disaster Relief and  
Mitigation Fund Grant for Dam Failure  
Impact**

**LAKE LURE TOWN COUNCIL**  
**AGENDA ITEM REQUEST FORM**  
**Meeting Date:** March 10, 2026

**SUBJECT:** Resolution No. 26-03-10B Accepting Emergency Management Disaster Relief and Mitigation Fund Grant for Dam Failure Impact Assessment

**AGENDA INFORMATION:**

**Agenda Location:** New Business  
**Item Number:** E  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

The Town of Lake Lure has been awarded a \$194,200 grant from the North Carolina Disaster Relief and Mitigation Fund 2025 to conduct a Dam Failure Impact Assessment. This assessment is important to demonstrate the potential wide-spread impact of dam failure and will support the Town's efforts to secure additional funding for dam replacement. This resolution authorizes the Town to accept the grant and authorizes the Town Manager to execute the required Memorandum of Agreement with the North Carolina Department of Public Safety. The resolution becomes effective upon adoption.

**RECOMMENDED MOTION AND REQUESTED ACTIONS:**

To adopt Resolution No. 26-03-10B Accepting Emergency Management Disaster Relief and Mitigation Fund Grant for Dam Failure Impact Assessment.

**ATTACHMENTS:**

Resolution No. 26-03-10B Accepting Emergency Management Disaster Relief and Mitigation Fund Grant for Dam Failure Impact Assessment; MOA

**STAFF'S COMMENTS AND RECOMMENDATIONS:**

Staff recommends adoption.



**RESOLUTION NO. 26-03-10B**

**RESOLUTION BY THE TOWN OF LAKE LURE TOWN COUNCIL  
ACCEPTING EMERGENCY MANAGEMENT DISASTER RELIEF AND  
MITIGATION FUND GRANT FOR DAM FAILURE IMPACT  
ASSESSMENT**

**WHEREAS**, the Town of Lake Lure applied for funding through the North Carolina Disaster Relief and Mitigation Fund 2025 to support a Dam Failure Impact Assessment; and

**WHEREAS**, the Town has been awarded a grant in the amount of \$194,200 to conduct the project; and

**WHEREAS**, the grant requires the Town to execute a Memorandum of Agreement (MOA) with the North Carolina Department of Public Safety, which outlines the terms, conditions, and reporting requirements for the funding; and

**WHEREAS**, the Town Council finds that acceptance of the grant and execution of the MOA are in the best interest of the Town to support public safety and infrastructure planning.

**NOW, THEREFORE, BE IT RESOLVED** by the Town Council of the Town of Lake Lure, North Carolina, as follows:

**SECTION ONE.** The Town Council hereby accepts the grant from the North Carolina Disaster Relief and Mitigation Fund 2025 in the amount of \$194,200 for the purpose of conducting a Dam Failure Impact Assessment.

**SECTION TWO.** The Town Manager is hereby authorized to execute the Memorandum of Agreement with the North Carolina Department of Public Safety and take all actions necessary to implement the grant consistent with its terms.

**SECTION THREE.** This resolution shall be effective upon adoption.

**READ, APPROVED AND ADOPTED** this the \_\_\_\_\_ day of \_\_\_\_\_, 2026.

**ATTEST:**

\_\_\_\_\_  
Kimberly Martin, Town Clerk

\_\_\_\_\_  
Mayor Carol C. Pritchett

**F.**  
**Consider Amendment to the Lake  
Advisory Board and Parks and  
Recreation Meeting Schedules to Set  
Location to 920 Buffalo Creek Road  
(The Landings)**

**LAKE LURE TOWN COUNCIL**  
**AGENDA ITEM REQUEST FORM**  
**Meeting Date:** March 10, 2026

**SUBJECT:** Consider Amendment to the Lake Advisory Board and Parks and Recreation Board Meeting Schedules to Set the Location to 920 Buffalo Creek Road (The Landings)

**AGENDA INFORMATION:**

**Agenda Location:** New Business  
**Item Number:** F  
**Department:** Administration  
**Contact:** Olivia Stewman, Town Manager  
**Presenter:** Olivia Stewman, Town Manager

**BRIEF SUMMARY:**

If the proposed organizational changes are approved, the current Parks, Recreation, and Lake office will be repurposed as the department's staff are reassigned to other departments and located at 920 Buffalo Creek Road (The Landings). It is therefore appropriate to amend the meeting locations for the Lake Advisory Board and Parks and Recreation Board to be held at The Landings.

**RECOMMENDED MOTION AND REQUESTED ACTIONS:**

To approve Amendment to the Lake Advisory Board and Parks and Recreation Board Meeting Schedules to Set the Location to 920 Buffalo Creek Road (The Landings).

**STAFF'S COMMENTS AND RECOMMENDATIONS:**

Staff recommends approval.

# IX

## PUBLIC COMMENT

*The public is invited to speak. Please keep comments limited to three minutes or less. Comments may also be submitted in writing to the Town Clerk, [kmartin@townoflakelure.com](mailto:kmartin@townoflakelure.com), at least one hour prior to the meeting.*

**XI**

**ADJOURNMENT**